



THE CITY OF NEW YORK  
MANHATTAN COMMUNITY BOARD 3  
59 East 4th Street - New York, NY 10003  
Phone (212) 533-5300  
[www.cb3manhattan.org](http://www.cb3manhattan.org) - [mn03@cb.nyc.gov](mailto:mn03@cb.nyc.gov)

Alysha Lewis-Coleman, Board Chair

Susan Stetzer, District Manager

**Landmarks Checklist and Questionnaire**

**RE: (address)**

Dear Applicants and Representatives,

Your Certificate of Appropriateness application has been placed on the agenda of the next meeting of the Landmarks Committee of Community Board 3. The Landmarks Committee will meet on:

Please advise on the meeting date.

**at 6:30 P.M.**

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Please confirm your attendance at the meeting and email an electronic version of your application to [mn03@cb.nyc.gov](mailto:mn03@cb.nyc.gov). Complete the enclosed questionnaire and return it by email to [mn03@cb.nyc.gov](mailto:mn03@cb.nyc.gov) **five business days** prior to the meeting.

Finally, please bring the following to the meeting:

- Copy of Landmarks Preservation Commission Application Form, including Docket Number, if known
- Archival photos, if available
- Plans and elevations of proposed changes; effect on the building materials or structure
- "Before" photos and "after" renderings or images
- View of the streetscape with the building in context
- Sightlines for addition of visible structures shown from multiple points
- Mockups of rooftop additions
- Photographs of proof of conspicuous posting of meeting with newspaper showing date of posting at least 7 days before the meeting. (Please use the notification poster included.)

Thank you for your help and cooperation. If there are any questions, please call the office.

Sincerely,

Susan Stetzer  
District Manager

**Certificate of Appropriateness Checklist and Questionnaire**

Address of Landmark: 538-540 East 11th St.

Name of Landmark: Free Public Baths of the City of New York

Name of Historic District, if relevant: Individual Landmark - NA

Location (between Streets/Aves): 11th Street between Ave A and B

Block and Lot Numbers: Block:404. Lot:23

**Applicant**

Name: Murdock Solon Architects

Contact Person: Shea Murdock

Telephone: (212) 929-3336 ext.101

E-Mail: SM@Murdocksolon.com

**Attorney**

Name: NA

Telephone: NA

Email: NA

**Architect**

Name: Shea Murdock

Telephone: (212) 929-3336 exit 101

Email: sm@murdocksolon.com

### **Project Information**

Please give overview of Application/Project:

The Scope of the work is the removal of a blue glazed mosaic tile located on the entryway walls and ceiling and the replacement of same with a hard wood cladding. No work is proposed on the primary exterior facade of the building.

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# THE CITY OF NEW YORK MANHATTAN COMMUNITY BOARD 3

59 East 4th Street - New York, NY 10003

Phone (212) 533-5300

[www.cb3manhattan.org](http://www.cb3manhattan.org) - [mn03@cb.nyc.gov](mailto:mn03@cb.nyc.gov)

Alysha Lewis-Coleman, Board Chair

Susan Stetzer, District Manager

## **Community Board 3 Guidance for Landmarks Committee Applicants**

Community Board 3 reviews all Certificate of Appropriateness applications to the Landmarks Preservation Commission within CB 3. Applications are considered first by Community Board 3's Landmarks Committee before being considered by the full board.

Applicants should note that Community Board 3 is a distinct entity from the Landmarks Preservation Commission, and applicants are required to make a separate presentation to the Community Board.

Please be sure to bring all requested materials listed in our Application Presentation Checklist when making a presentation. Please bring at least two printed copies of materials for committee to review during the meeting. *The Landmarks Subcommittee will not review any application if materials are not included in the presentation.*

To schedule a presentation before the Landmarks Committee, please contact CB 3 via email at [mn03@cb.nyc.gov](mailto:mn03@cb.nyc.gov). If you have no access to email, you may deliver your application to the CB 3 office, at 59 East 4th Street, New York, NY 10003.

## **Community Board 3 Landmarks Committee Policies and Procedures**

### **Landmarks Preservation Commission**

The Landmarks Preservation Commission ("LPC") is the New York City agency that is responsible for identifying and designating the City's landmarks and the buildings in the City's historic districts. The Landmarks Law is described in the Chapter 74 of City Charter, and in Title 25, Chapter 3 of the Administrative Code, and Title 63 of the Rules of the City of New York. The Commission also regulates changes to designated building, such as through the issuance Certificates of Appropriateness, Permits for Minor Work, and Certificates of No Effect.

### **Responsibilities of the Community Board 3 ("CB 3") Landmarks Committee**

- *Landmarks designation.* The Community Board may review and, if appropriate, support efforts to designate individual landmarks and historic districts within the CB 3 area. Applicants who are not the owner of a property and are seeking individual Landmark designation for a structure in CB 3 are required to submit contact information for the property owner with their agenda request to CB 3. This will enable CB 3 to notify the property owner of the meeting.
- *Certificate of Appropriateness Applications.* The main role of the Community Board with respect to Landmarks is to review Certificate of Appropriateness applications prior to the LPC public meeting and to make recommendations to the LPC.

### **Certificate of Appropriateness Procedures**

- When LPC staff determines that a permit application will require a hearing before the Commission, the applicant is referred to the Community Board. When the applicant contacts the Community Board, the CB will send the *Application Presentation Checklist* to the applicant and place the application on the Landmarks Committee agenda.
- The application materials submitted by the applicant will be posted on the CB 3 website for review by committee members and the public. The Committee will recommend approval or denial of the application based on the same criteria used by LPC and may also look at broader issues such as quality of life. However, the LPC will not consider these broader issues in its decision.
- At the Committee hearing, the applicant (along with the architect and lawyer, if relevant) will present to the Committee the same application and materials that will be presented at the LPC hearing. It is important that the applicant provide samples of actual materials to be used as per instructions.
- If the applicant does not appear at the CB 3 Committee meeting, a motion to deny based on nonappearance will be voted.

# ATTENTION RESIDENTS & NEIGHBORS

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(Property Owner Name)

## Certificate of Appropriateness Application from the Landmarks Preservation Commission for

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(Landmark Address)

**This applicant is seeking approval to**

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(Brief Description of Proposed Work)

**There will be an opportunity for public comment on**

**at 6:30 P.M**

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(Date)

**at**

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(Meeting Address)

**At COMMUNITY BOARD 3  
Landmarks Committee Meeting  
mn03@cb.nyc.gov - www.cb3manhattan.org**

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(Applicant Contact Information)



New York  
Today 8:37 AM

Edit

LIVE



9:47

New York  
Today 8:37 AM

Edit

LIVE





**DRAWING LIST**

|          |   |
|----------|---|
| T-100.00 | COVER SHEET   |
| G-100.00 | VISIBILITY EXISTING PHOTO                           |
| G-101.00 | IPE-CLADDING INTERIOR PROPOSAL AND REFERENCE IMAGES |
| A-100.00 | EXISTING/ PROPOSED 1ST FLOOR                        |
| A-300.00 | EXISTING/ PROPOSED EXTERIOR ELEVATION FROM STREET   |
| A-301.00 | EXISTING EXTERIOR ELEVATIONS FROM COURTYARD         |
| A-302.00 | PROPOSED EXTERIOR ELEVATIONS FROM COURTYARD         |

**SCOPE OF WORK**

SCOPE OF WORK TO INCLUDE IPE CLADDING OVER EXISTING EXTERIOR TILE. ALL WORK HAS MINIMAL VISIBILITY. NO PENETRATIONS TO FACADE. NO CHANGE IN USE OR OCCUPANCY.

**BUILDING DEPT NOTES**

- APPLICATION IS TO BE EXAMINED UNDER **2014 CODE**
- C of O #117663.
- BUILDING IS OF **CLASS 1 FIREPROOF** CONSTRUCTION AS PER ARTICLE 2 (C26-239.0).
- WORK SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL BY-LAWS, STATUTE, ORDINANCES, CODES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY PORTIONS OF THE WORK, IN THE CONTRACT DOCUMENTS THAT ARE IN VARIANCE WITH THE ABOVE.
- ALL WORK SHALL COMPLY WITH ANSI-117.1 AND LOCAL LAW 58.
- ALL NEW WORK SHALL COMPLY WITH NEW YORK STATE ENERGY CODE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING WITH, OBTAINING APPROVAL FROM, AND OBTAINING PERMITS FROM THE DEPARTMENT OF PUBLIC PROTECTIVES AS PER SECTION 27-1021.
- COMPLY WITH REQUIREMENTS OF OWNER. CONTRACTOR TO COORDINATE WITH OWNER REGARDING SCHEDULING OF WORK. PROVIDE MINIMUM OF 72 HOURS ADVANCE NOTICE TO OWNER OF ACTIVITIES WHICH WILL AFFECT NORMAL BUILDING OPERATIONS.
- PROVIDE TEMPORARY ENCLOSURES AND PROTECTION, AS REQUIRED TO PROTECT ALL PERSONS AND CONSTRUCTION TO REMAIN FROM INJURY OR DAMAGE THE PERFORMANCE OF THE WORK.
- MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING:  
 A.THEY SHALL CONFORM WITH A.I.S.G. "FIRE RESISTANCE RATING", DATED 1985 (OR)  
 B.THEY SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E119, STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS AND ACCEPTED BY THE COMMISSIONER (OR)  
 C.THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE.
- ALL MASONRY UNITS SHALL CONFORM TO THE BUILDING CODE WITH BOARD OF STANDARDS AND APPEALS APPROVAL. MASONRY WALLS AND CONSTRUCTION SHALL CONFORM TO RS 10-1 OF THE BUILDING CODE.
- ALL NEW INTERIOR FINISHES SHALL BE CONSTRUCTED OF MATERIALS MEETING SECTION 27-529 FOR FLAME SPREAD RATINGS.
- ALL DIMENSIONS TO FACE OF FINISH MATERIAL, UNLESS OTHERWISE NOTED. IN NO CASE "SCALE" DWG'S BUT WORK FROM FIGURED DIMENSIONS. ALL DIMENSIONS SHALL BE VERIFIED AT THE PREMISES.
- EXISTING SPRINKLER THROUGHOUT.
- MODIFICATIONS TO EXISTING SPRINKLER SYSTEM TO BE FILED UNDER SEPARATE APPLICATION.
- STRUCTURAL PLANS AND DETAILS FILED UNDER APPLICATION NO. 110175300
- ALL MECHANICAL WORK FILED UNDER SEPARATE APPLICATION.
- BUILDING FIRE ALARM FILED UNDER SEPARATE APPLICATION.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND CONFORM TO LOCAL CODES AND REGULATIONS.
- CONTRACTOR TO VERIFY EXISTING ELECTRICAL WORK AND COORDINATE WITH THE PROPOSED WORK FOR REMOVALS AND/OR RELOCATIONS. REMOVE, SAFE-OFF AND/OR ABANDON, PER NYC ELECTRICAL CODE. ALL UNUSED PORTION OF EXISTING ELECTRICAL SYSTEM NOT BEING RE-USED. PROVIDE TEMPORARY LIGHTING AS REQUIRED FOR SAFETY AND TO PROPERLY EXECUTE THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED BY OR AT THE DIRECTION OF THE UNDERSIGNED AND TO THE BEST OF THE UNDERSIGNED'S KNOWLEDGE, INFORMATION, AND BELIEF, THEY MEET THE REQUIREMENTS OF THE BUILDING CODE.

**BUILDING DEPT NOTES (CONT.)**

- THE FOLLOWING ITEMS ARE SUBJECT TO CONTROLLED INSPECTIONS
  - A. FIRESTOP, DRAFTSTOP, AND FIREBLOCK SYSTEMS
  - B. FIRE-RESISTANCE RATED CONSTRUCTION
  - C. ENERGY COMPLIANCE INSPECTIONS (SEE EN-001 FOR FULL LIST)
  - D. FINAL

**THE PROPERTY IS NOT LOCATED IN A SFHA**

**RESIDENCE TO BE VACANT DURING DURATION OF CONSTRUCTION**

**PROPERTY PROFILE**

**PREMISES:** 538-540 East 11th Street, New York, NY 10009  
**ZONING DISTRICT:** R8B  
**LANDMARK STATUS:** L-Landmark  
**ENVIRONMENTAL RESTRICTIONS:** Noise/Air  
**OCCUPANCY GROUP CLASSIFICATION:** Residential  
**MAP:** 12C  
**BLOCK:** 404  
**LOT:** 23  
**STORIES:** 5  
**HEIGHT:** 55'  
**LOT AREA:** 4,845 SQ FT  
**LOT FRONTAGE:** 50.5FT  
**LOT DEPTH:** 94.75 FT  
**YEAR BUILT:** 1904  
**NUMBER OF FLOORS:** 2  
**GROSS FLOOR AREA:** 10,968 SQ FT

**GENERAL NOTES:**

CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED FIRE EGRESS TO THE OUTSIDE OF THE BUILDING AT ALL TIMES DURING THE PROGRESS OF THE WORK.

CONTRACTOR SHALL RELOCATE OR ALTER EXISTING SERVICES AS REQUIRED IN ORDER TO COMPLETE THE WORK. THE ARCHITECT AND/OR OWNER MUST APPROVE ALL SUCH RELOCATION'S OR ALTERATIONS PRIOR TO COMMENCEMENT OF WORK.

CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT AS SHOWN IN THE CONSTRUCTION DOCUMENTS UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS. ALL MATERIAL SHALL BE NEW AND OF BEST QUALITY.

CONTRACT SHALL INCLUDE ALL CUTTING, DRILLING AND PATCHING REQUIRED FOR THE COMPLETION OF THE WORK.

ALL MATERIALS AND EQUIPMENT SHALL MEET THE APPLICABLE STANDARDS OF ANSI AND NEMA AND SHALL BE LISTED BY U.L.

ANY DAMAGES TO EXISTING PARTITIONS, FLOORS, CEILING'S OR ANY PART OF THE BUILDING OR EQUIPMENT CAUSED BY THE CONTRACTOR SHALL BE MADE GOOD AT NO ADDITIONAL EXPENSE TO THE OWNER OR TENANT.

THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE FROM THE JOB SITE AND BROOM CLEAN DAILY. THE CONTRACTOR IS IN CONTROL OF CLEANING TO PREVENT DIRT OR DUST FROM LEAVING THE JOB SITE AND INFILTRATING AREAS OTHER THAN THE JOB SITE. CORRIDORS WITHIN THE BUILDING USED TO ACCESS THE SITE ARE TO BE PROTECTED WITH MASONITE FOR THE DURATION OF THE PROJECT.

ALL PLUMBING WORK IS TO BE PERFORMED BY A LICENSED PLUMBER AND CERTIFICATES OF INSURANCE SHALL BE SUBMITTED TO BUILDING MANAGEMENT BEFORE STARTING ANY PLUMBING WORK.

ALL ELECTRICAL WORK IS TO BE PERFORMED BY A LICENSED ELECTRICIAN AND CERTIFICATES OF INSURANCE SHALL BE SUBMITTED TO BUILDING MANAGEMENT BEFORE STARTING ANY ELECTRICAL WORK.

CONTRACTOR TO INDICATE TO THE ARCHITECT AND/OR OWNER THE PROPOSED DATES AND HOURS DURING WHICH THE WORK SHALL BE PERFORMED. NOTIFY THE ARCHITECT AND/OR OWNER AT LEAST FORTY EIGHT HOURS PRIOR TO COMMENCING DEMOLITION. THE CONTRACTOR SHALL PREPARE AND UPDATE A HORIZONTAL BAR TYPE CONSTRUCTION SCHEDULE LISTING ALL MAJOR PORTIONS ON THE WORK THE LOCATION OF THE WORK IS IN AN EXISTING BUILDING THAT MUST CONTINUE TO OPERATE DURING THE PROGRESS OF THE WORK. THE CONTRACTOR IS TO PROVIDE MINIMUM INTERFERENCE WITH OPERATION.

**TENANTS' SAFETY NOTES**

- CONSTRUCTION OPERATION WILL NOT BLOCK HALLWAYS OR MEANS OF EGRESS. BUILDING WILL BE UNOCCUPIED.
- ALL MEANS OF EGRESS FROM THE BUILDING WILL BE FREE OF OBSTRUCTION.
- ALL ENTRANCE DOORS AND LIGHTS IN WILL BE KEPT IN WORKING ORDER TO ENSURE PROPER EGRESS IN CASE OF AN EMERGENCY. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE FIRE SAFETY IN ACCORDANCE WITH FIRE DEPARTMENT AND BUILDING DEPARTMENT REGULATIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING CODE OF THE CITY OF NEW YORK AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
- CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 8:00AM TO 5:00PM MONDAYS THROUGH FRIDAYS, EXCEPT LEGAL HOLIDAYS.
- DEMOLITION: ALL DEBRIS AND PRODUCTS OF DEMOLITION NOT DESIGNATED FOR REUSE SHALL BE REMOVED FROM THE PREMISES AND LEGALLY DISPOSED OF. THE SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EVERY WORK DAY.
- DUST CONTROL  
 WORK WILL BE CONFINED TO THE AREAS OF APPROVED CONSTRUCTION. ALL REASONABLE MEASURES WILL BE TAKEN TO MINIMIZE THE CREATION OF DIRT, DUST AND OTHER AIRBORNE PARTICLES, AND TO CONFINE SUCH MATTER TO THE AREAS OF CONSTRUCTION. THE IMMEDIATE CONSTRUCTION ARE SHALL BE PERIODICALLY CLEANED TO AVOID EXCESS ACCUMULATION OF DUST AND DIRT.
- ALL BUILDING MATERIAL STORED AT SITE SHALL BE STORED IN LOCKED AREAS. ACCESS TO THESE AREAS SHALL BE CONTROLLED BY THE OWNER, OR THE GENERAL CONSTRUCTOR. ALL BUILDING MATERIAL SHALL BE STORED IN A NEAT, ORDERLY MANNER.
- FIRE SAFETY  
 BUILDING MATERIAL, INCLUDING COMBUSTIBLE AND FLAMMABLE MATERIAL, SHALL BE STORED IN COMPLIANCE W/ ALL APPLICABLE CODES AND REGULATIONS, AND IN ACCORDANCE W/ MFR'S SUGGESTION. ALL SUCH MATERIALS SHALL BE STORED IN MFR'S CONTAINERS OR OTHER APPROVED CONTAINERS, AS APPLICABLE.
- ELECTRICAL SAFETY  
 ALL ELECTRICAL POWER SHALL BE SHUTOFF WHERE THERE IS EXPOSED CONDUIT; ALL ELECTRICAL POWER IN CONST. AREA SHALL BE SHUTOFF EXCEPT DURING WORK HOURS; ELECTRICAL POWER TO THE STAIRWELL AND BOILER SHALL REMAIN ON FOR SAFETY PURPOSES

**LOCAL LAW NOTES**

- THE CONTRACTION OF THIS ALTERATION SHALL ADHERE TO ALL APPLICABLE PROVISIONS SET FORTH IN SECTION 27-292.8 ADAPTABLE DWELLING UNITS OF LOCAL LAW 58/1987 OF THE ADMINISTRATIVE CODE OF NEW YORK, IN RELATION TO PROVIDING FACILITIES FOR PEOPLE HAVING DISABILITIES.
- THIS ALTERATION SHALL BE CONSTRUCTED AND EQUIPPED SO THAT IT CAN BE CONVERTED TO BE USED, WITH A MINIMUM OF STRUCTURAL CHANGE, BY ALL CATEGORIES OF PEOPLE HAVING PHYSICAL DISABILITIES.
- DOOR WIDTHS SHALL BE A MINIMUM OF 34" IN COMPLIANCE WITH SEC. 4.13.5
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT AS PER SEC. 4.13.8 ANSI
- HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON A ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP AND SHALL BE OPENABLE WITH ONE HAND AS PER SEC. 4.13.9 ANSI

**2014 BUILDING CODE - TENANT PROTECTION PLAN NOTES**

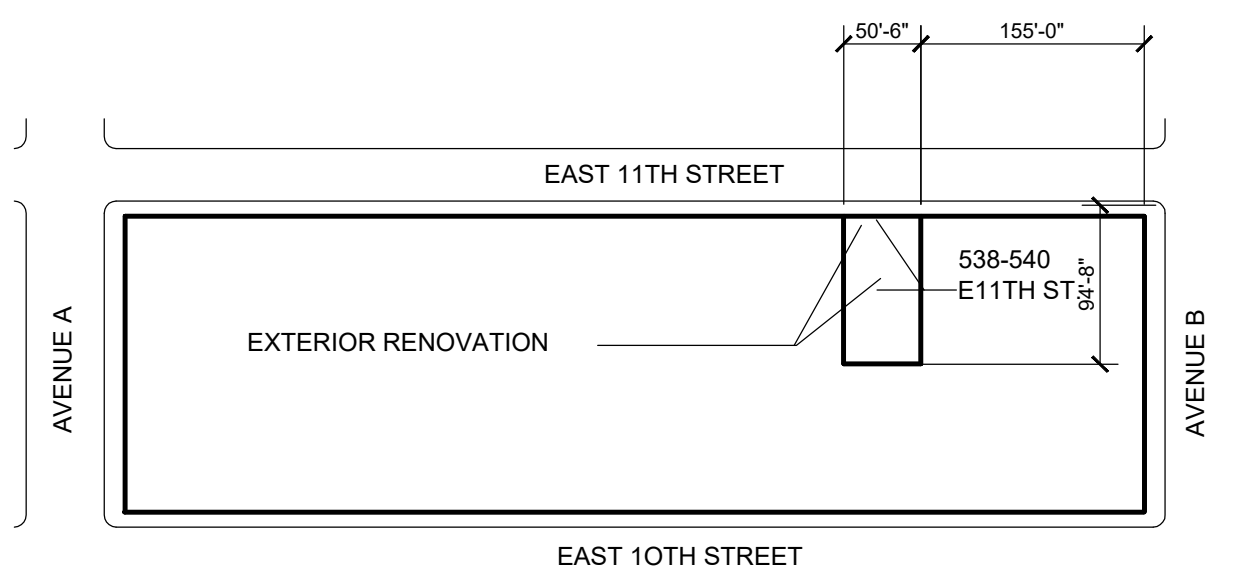
ALL CONSTRUCTION WORK TO COMPLY WITH 2014 BC SECTION 28-104.8.4.3, LOCAL LAW 154 OF 2017

- EGRESS: AT ALL TIMES IN THE COURSE OF CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE AND THE TENANT PROTECTION PLAN SHALL IDENTIFY THE EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHERE APPROVED BY THE COMMISSIONER.
- FIRE SAFETY: ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY ENFORCED.
- HEALTH REQUIREMENTS: SPECIFICATION OF METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED.
  - THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS.
  - COMPLIANCE WITH HOUSING STANDARDS: THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE, AND WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY ENFORCED
  - STRUCTURAL SAFETY: NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS
  - NOISE RESTRICTIONS: WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE NEW YORK CITY NOISE CONTROL CODE, SUCH LIMITATIONS SHALL BE STATED.
  - MAINTENANCE ESSENTIAL SERVICES: CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER OR ELECTRICAL SERVICES TO OTHER TENANTS OF THE BUILDING
  - THIS BUILDING CONTAINS 001 DWELLING UNITS WHICH WILL REMAIN OCCUPIED DURING CONSTRUCTION.
  - PUBLIC AVAILABILITY OF TENANT PROTECTION PLAN: UPON ISSUANCE OF A PERMIT, THE DEPARTMENT SHALL MAKE THE TENANT PROTECTION PLAN (TPP) PUBLICLY AVAILABLE ON ITS WEBSITE.
  - COPY OF TENANT PROTECTION PLAN: THE OWNER TO PROVIDE A PAPER COPY OF THE APPROVED TPP UPON REQUEST BY AN OCCUPANT OF THE DWELLING UNIT
  - NOTICE TO OCCUPANTS: UPON ISSUANCE OF A WORK PERMIT, THE OWNER SHALL DISTRIBUTE A NOTICE REGARDING SUCH PLANS TO EACH OCCUPIED DWELLING UNIT OR POST A NOTICE REGARDING SUCH PLANS IN A CONSPICUOUS MANNER IN A BUILDING LOBBY, ON EACH FLOOR IN A FORM APPROVED BY THE DEPARTMENT TO INCLUDE:
    - A STATEMENT THAT OCCUPANTS MAY OBTAIN A COPY OF SUCH PLANS FROM OWNER AND MAY ACCESS SUCH PLANS ON THE DEPARTMENT WEBSITE.
    - THE NAME AND CONTACT INFORMATION FOR THE SITE SAFETY COORDINATOR OR SUPERINTENDENT OF CONSTRUCTION OR IF NO SUCH PERSON, THE NAME AND CONTACT INFORMATION OF THE BUILDING OWNER
    - A STATEMENT THAT THE BUILDING OCCUPANTS MAY CALL 311 TO MAKE A COMPLAINT IF NECESSARY
  - 2014 AC, SECTION 28-104.8.4.3 WAS ADDED BY LOCAL LAW 154 OF 2017.



**ZONING MAP R8B**

SCALE: NOT TO SCALE



**SITE PLAN**

SCALE: NOT TO SCALE

**TABULAR ENERGY ANALYSIS – NYCECC 2016**

| WORK ITEMS (INCLUDING NEW AND/OR REPLACEMENTS)  | PROPOSED DESIGN VALUE | CODE PRESCRIBED VALUE & CITATION |
|---|-----------------------|----------------------------------|
| NEW CLADDING OVER EXISTING TILE. NO REMOVING/REPLACEMENTS   |                       |                                  |
| <b>TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THIS APPLICATION IS IN COMPLIANCE TO THE NYCECC 2016.</b> |                       |                                  |

**ENERGY CODE PROGRESS INSPECTION**

|   |  |               |
|---|--|---------------|
| X | FENESTRATION U-FACTOR AND PRODUCT RATING | (IA3), (IIA3) |
| X | FENESTRATION AIR LEAKAGE                 | (IA4), (IIA4) |
| X | FENESTRATION AREAS                       | (IA6), (IIA5) |
| X | AIR SEALING AND INSULATION - VISUAL      | (IA6), (IIA6) |

**538-540 EAST 11th STREET**  
New York, NY 10009

ARCHITECT:  
**MSA MURDOCK SOLON ARCHITECTS**  
 508 WEST 26TH STREET SUITE 5B, NEW YORK, NY 10001  
 T. 212-929-3338  
 WWW.MURDOCKSOLOON.COM

OWNER:  
 BATH HOUSE ACQUISITIONS, LLC  
 538-540 EAST 11TH STREET  
 NEW YORK, NY, 10009

EXPEDITER:  
 MUNICIPAL BUILDING CONSULTANTS, INC.  
 233 BROADWAY  
 NEW YORK, NY 10279  
 OFFICE: 212-791-9390  
 FAX: 646-613-1776

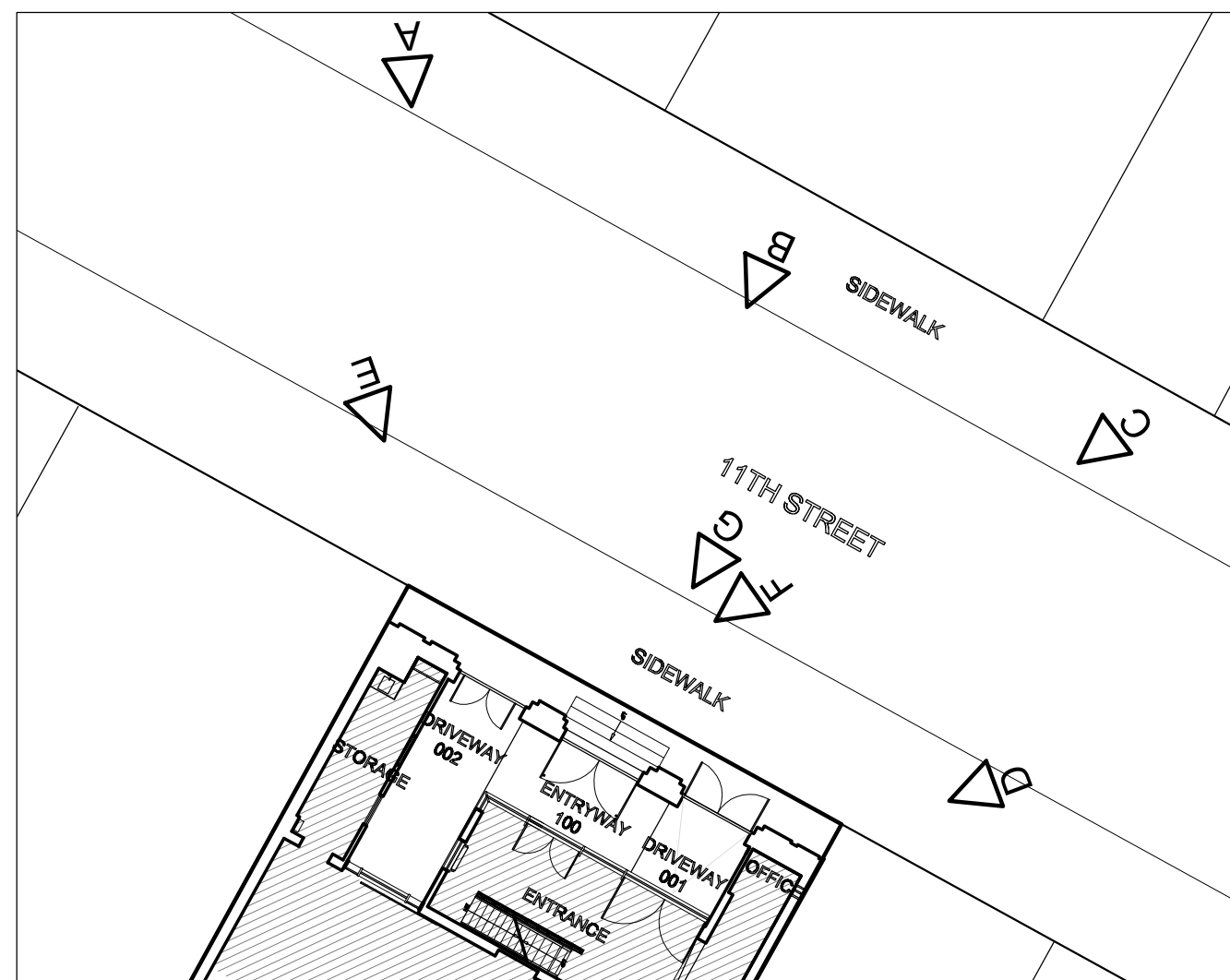
PROJECT:  
 RESIDENTIAL RENOVATION

BUILDING FLOOR NUMBER:

DRAWING:  
 COVER SHEET

DOB EMPLOYEE STAMP AND SIGNATURE:

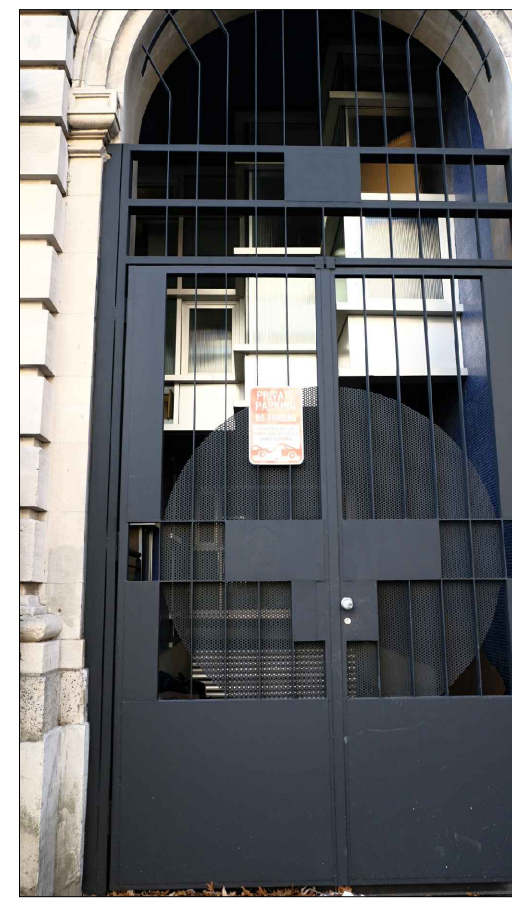
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| PROJECT NO. | 20016           |
| SCALE:      | NTS             |
| DRAWING NO. | <b>T-100.00</b> |
| DRAWING:    | 1 OF 7          |



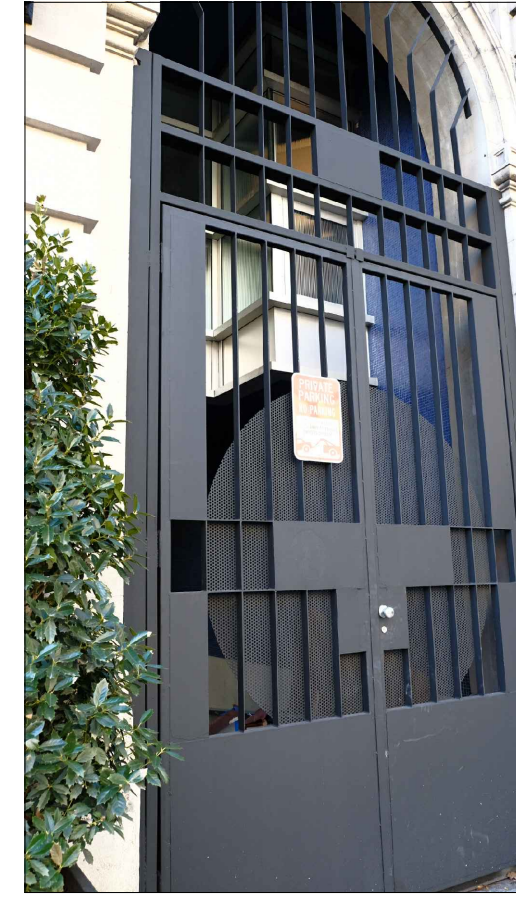
KEY PLAN PHOTO FROM SIDEWALK  
SCALE: N/A



PHOTO OF EXISTING FACADE WHEN DESIGNATED AS A LANDMARK BUILDING MARCH 18, 2008



**G** FACADE, PHOTO FROM SIDEWALK  
SCALE: N/A



**F** FACADE, PHOTO FROM SIDEWALK  
SCALE: N/A



**E** FACADE, PHOTO FROM SIDEWALK  
SCALE: N/A



**D** FACADE, PHOTO FROM SIDEWALK  
SCALE: N/A



**C** FACADE, PHOTO FROM STREET  
SCALE: N/A



**B** FACADE, PHOTO FROM STREET  
SCALE: N/A



**A** FACADE, PHOTO FROM STREET  
SCALE: N/A

**538-540 EAST 11th STREET**  
New York, NY 10009

ARCHITECT:  
**MSA MURDOCK SOLON ARCHITECTS**  
508 WEST 26TH STREET SUITE 5B, NEW YORK, NY 10001  
T. 212-929-3336  
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OWNER:  
BATH HOUSE ACQUISITIONS, LLC  
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NEW YORK, NY, 10009

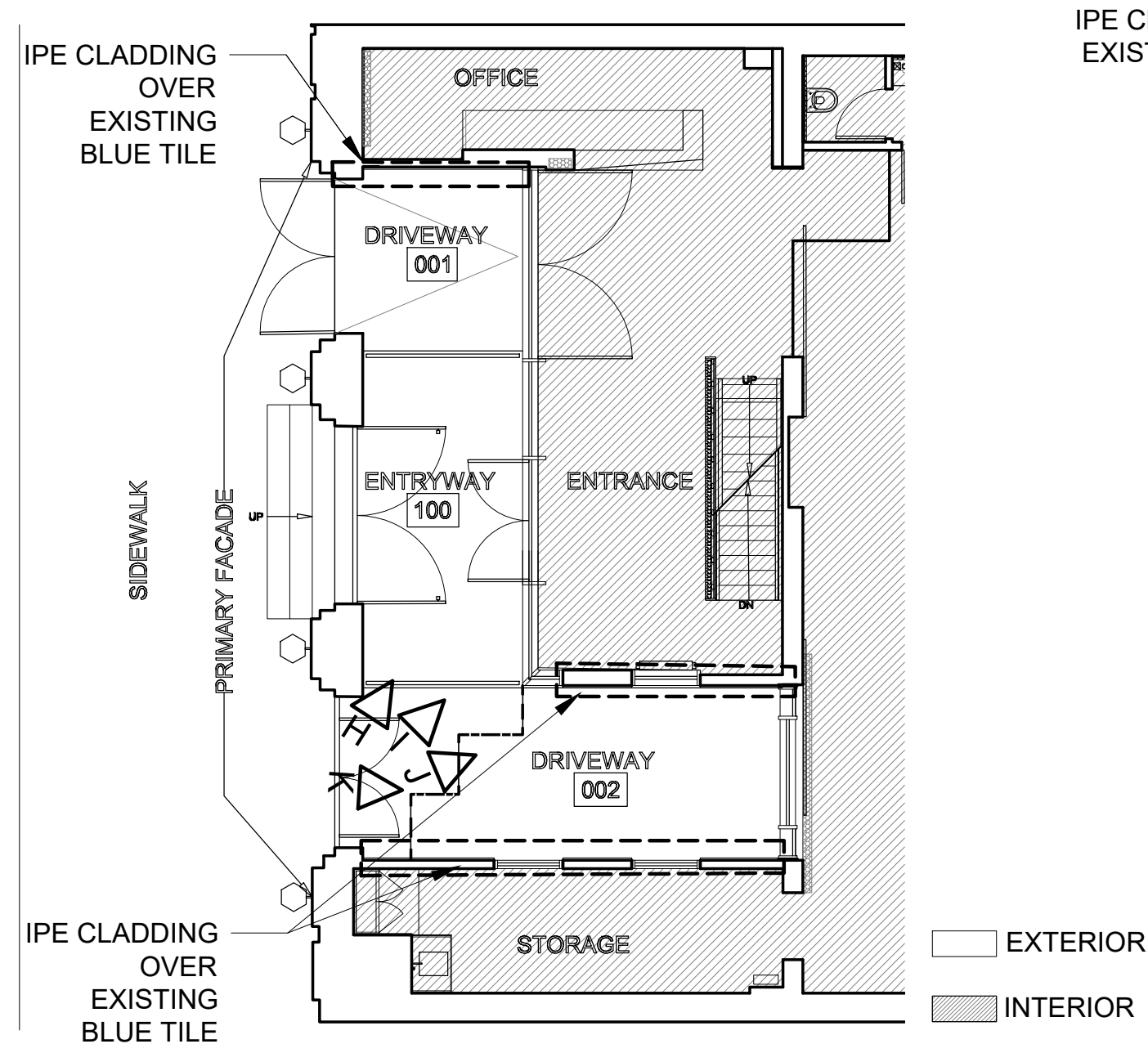
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MUNICIPAL BUILDING CONSULTANTS, INC.  
233 BROADWAY  
NEW YORK, NY 10279  
OFFICE: 212-791-9390  
FAX: 646-613-1776

PROJECT:  
RESIDENTIAL RENOVATION

BUILDING FLOOR NUMBER:

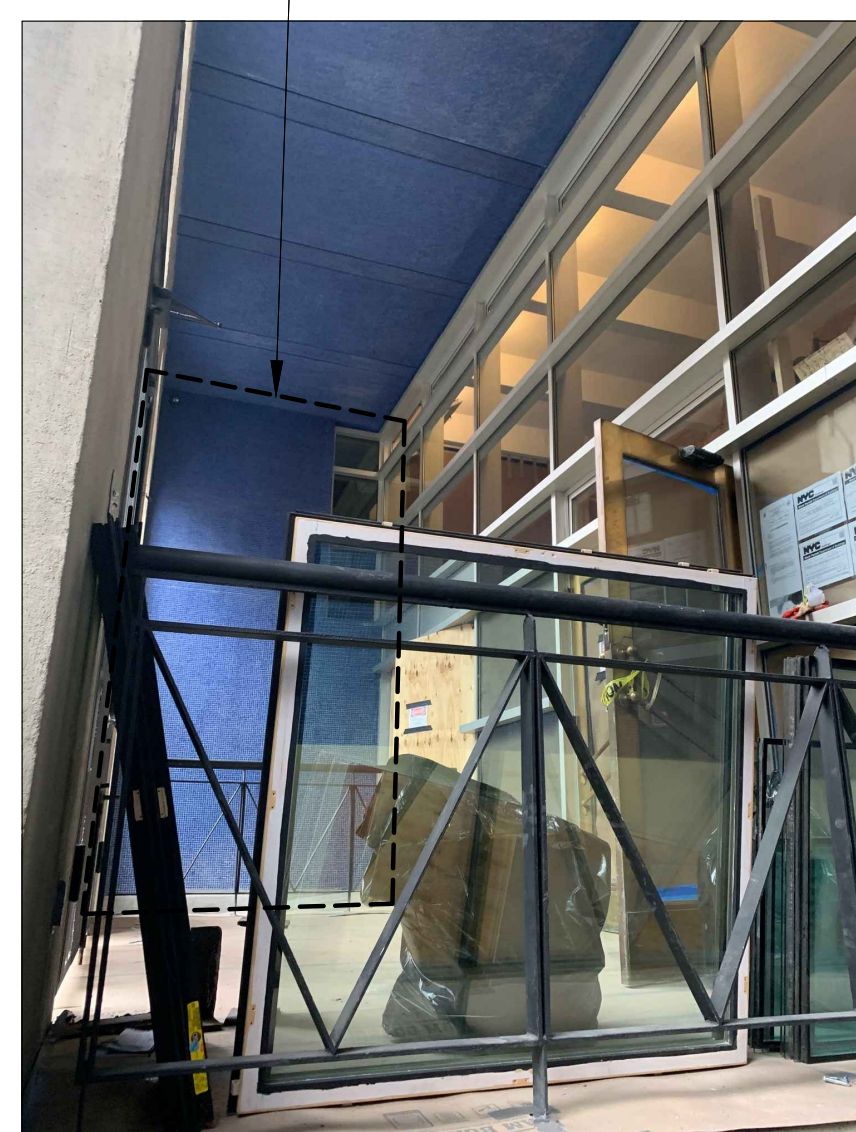
DRAWING:  
VISIBILITY EXISTING PHOTO

DOB EMPLOYEE STAMP AND SIGNATURE:



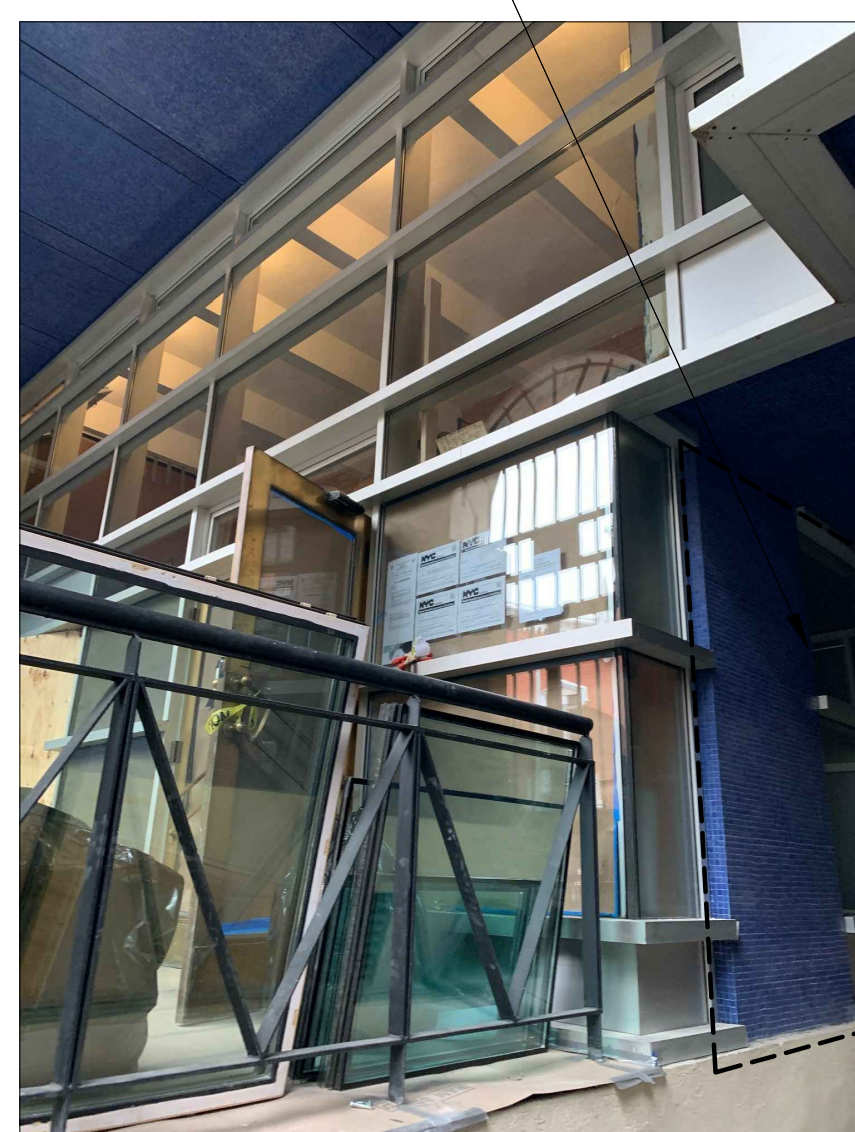
KEY PLAN FOR PHOTO AT COURTYARD  
SCALE: N/A

IPE CLADDING OVER EXISTING BLUE TILE



**H** FROM DRIVEWAY 002 LOOKING AT ENTRYWAY  
SCALE: N/A

IPE CLADDING OVER EXISTING BLUE TILE



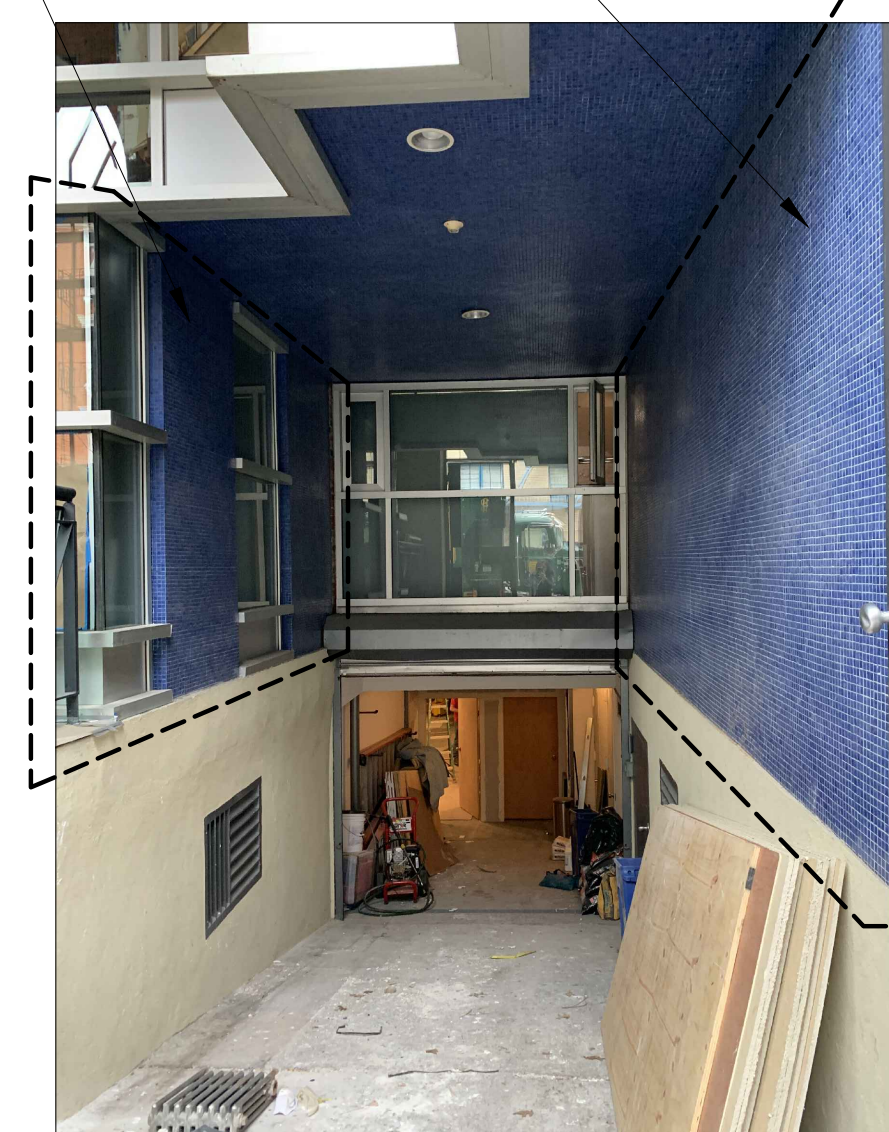
**I** FROM DRIVEWAY 002 LOOKING AT ENTRYWAY  
SCALE: N/A

IPE CLADDING OVER EXISTING BLUE TILE



**J** FROM DRIVEWAY 002 LOOKING UP  
SCALE: N/A

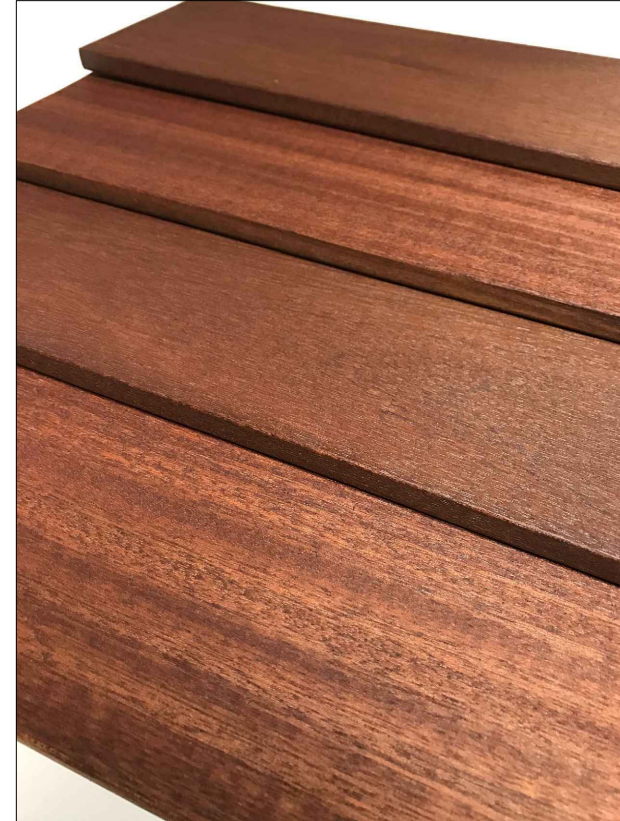
IPE CLADDING OVER EXISTING BLUE TILE



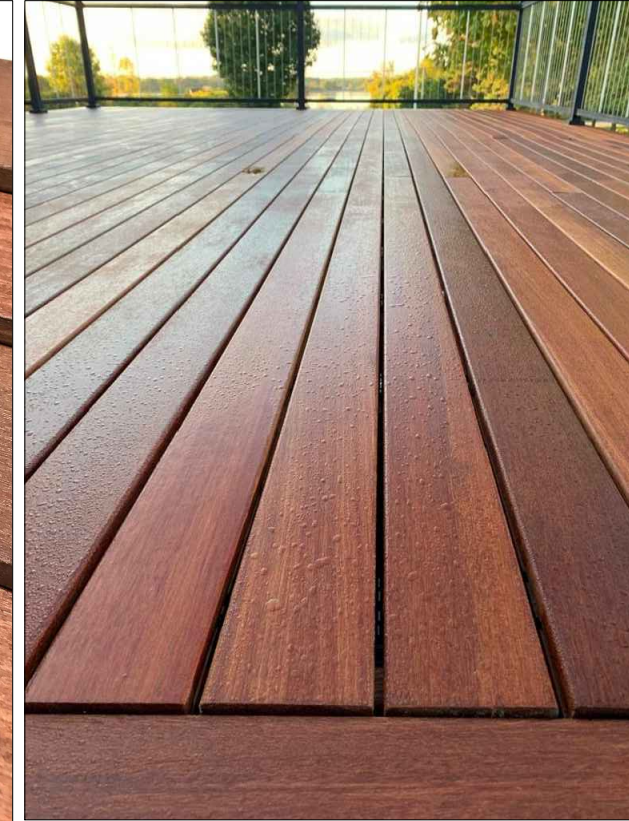
**K** FROM DRIVEWAY 002 LOOKING DOWN  
SCALE: N/A

|             |                 |
|-------------|-----------------|
| DATE:       | 03/16/20        |
| PROJECT NO. | 20016           |
| SCALE:      | NTS             |
| DRAWING NO. | <b>G-100.00</b> |
| DRAWING:    | 2 OF 7          |

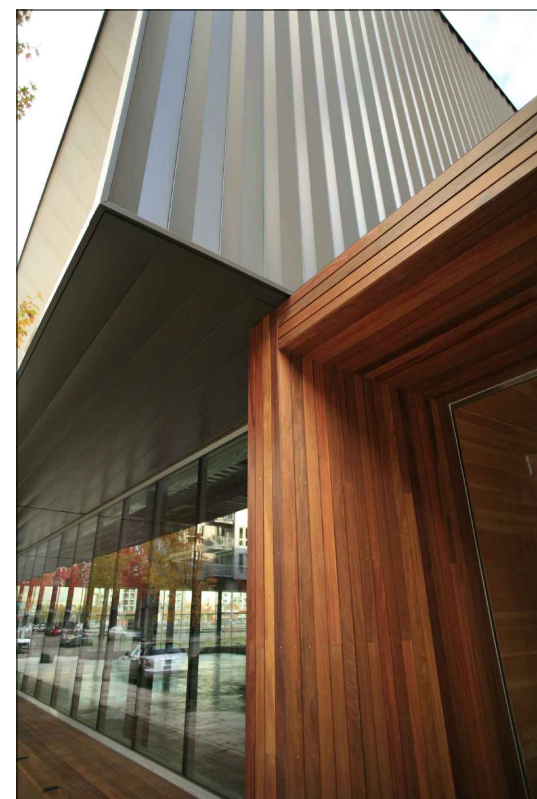
PROPOSED EXTERIOR CLADDING  
IPE - NOVA BATU 5" x 1"



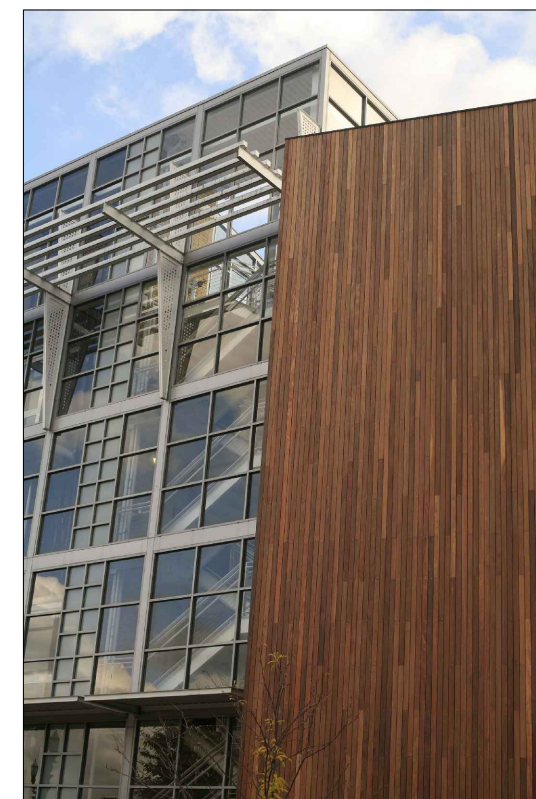
SAMPLE IMAGE 01



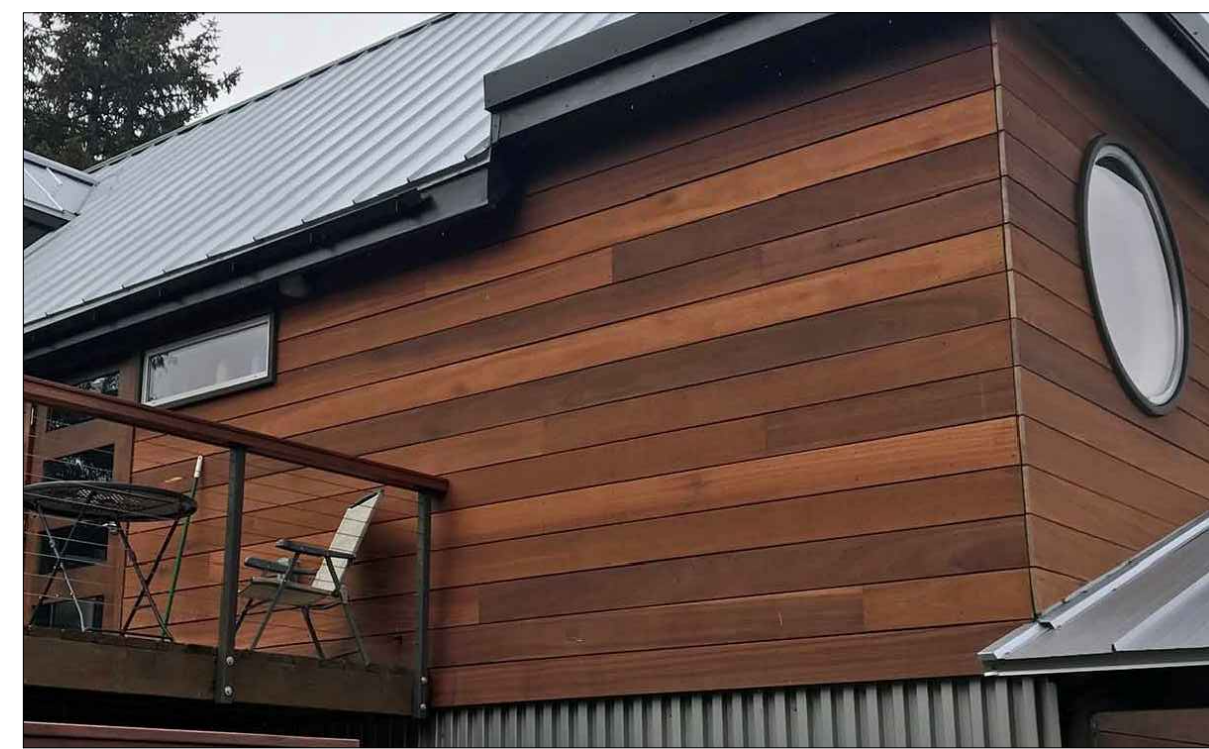
SAMPLE IMAGE 02



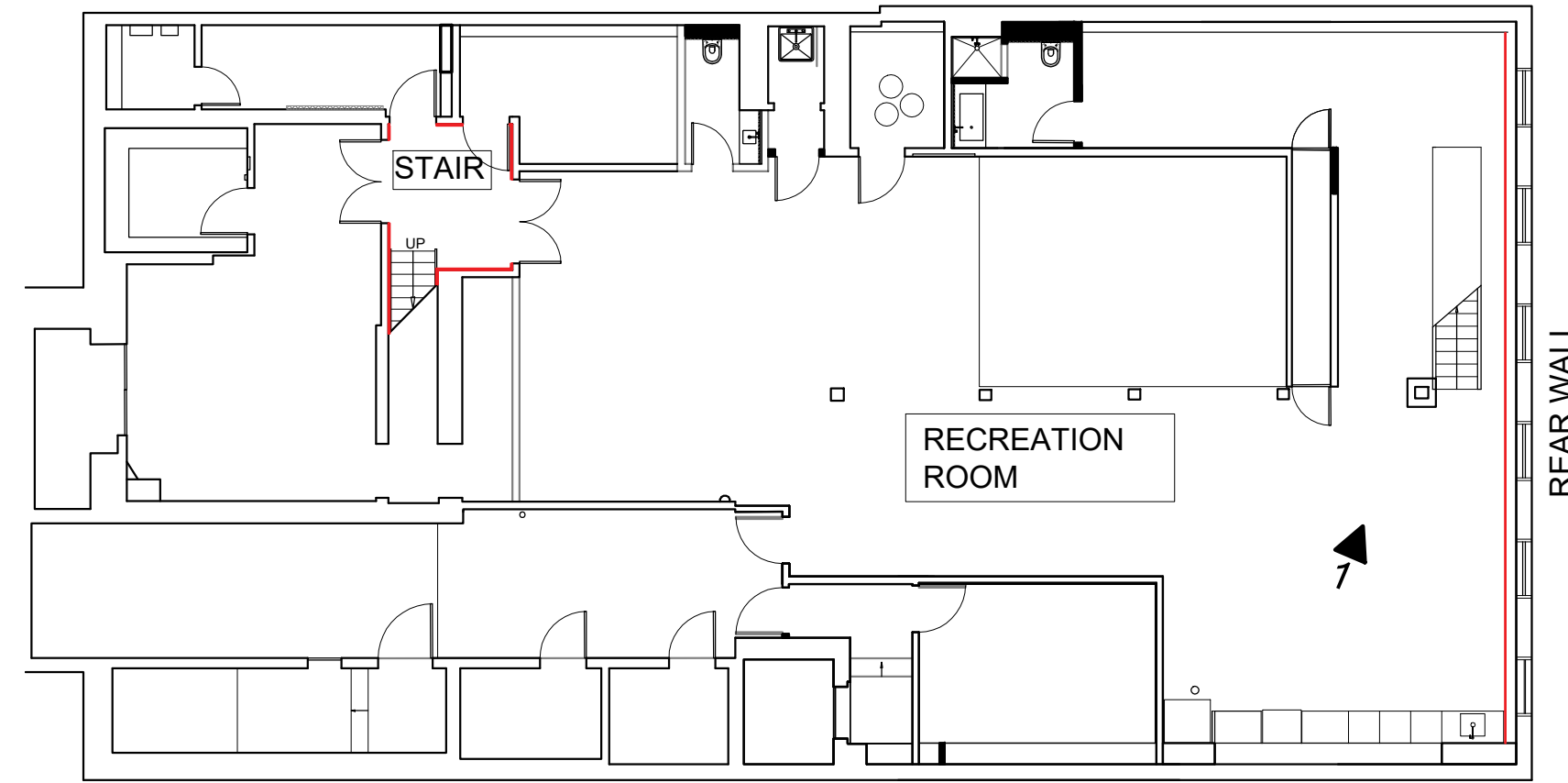
VERTICAL EXTERIOR REFERENCE IMAGES



VERTICAL EXTERIOR REFERENCE IMAGES



HORIZONTAL EXTERIOR REFERENCE IMAGE 01



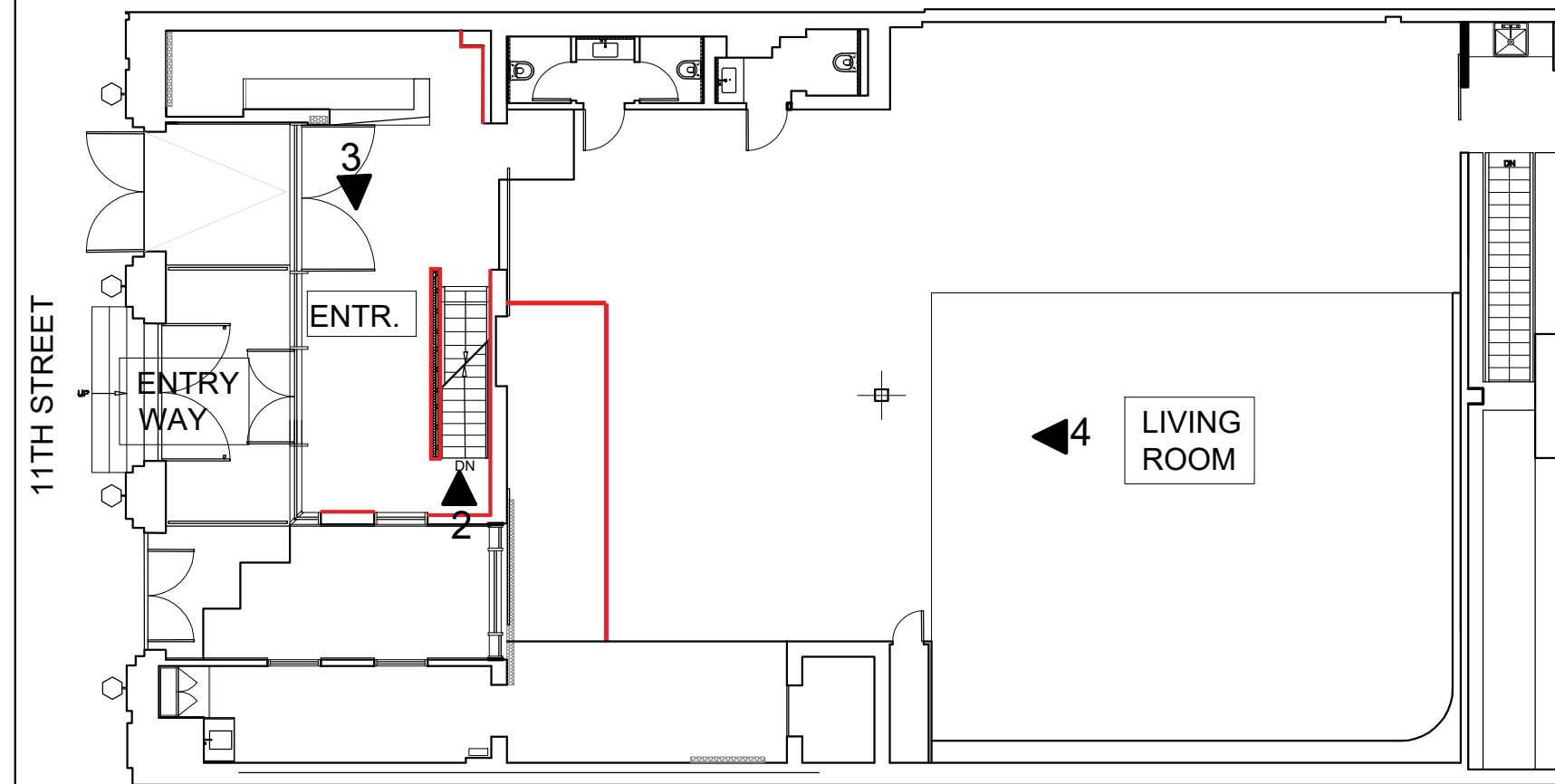
KEY PLAN CELLAR  
SCALE: N/A  
IPE-CLADDING



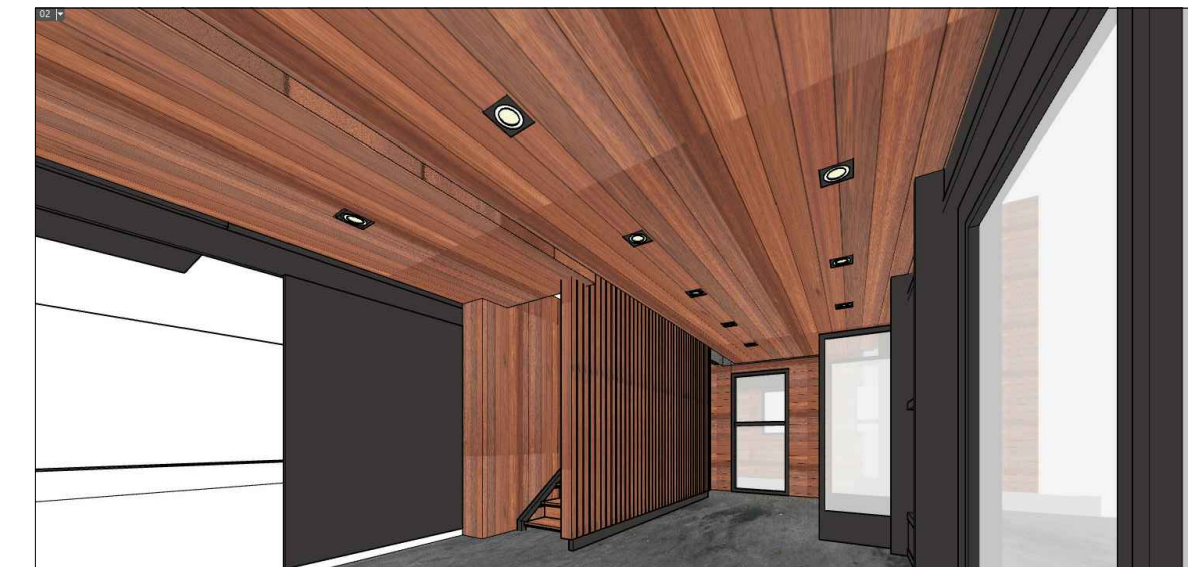
1) Proposed Cellar Rear Wall Interior  
In Progress PAA.03 DOB No.123810803



2) Proposed First Floor looking to Cellar Interior  
In Progress PAA.03 DOB No.123810803



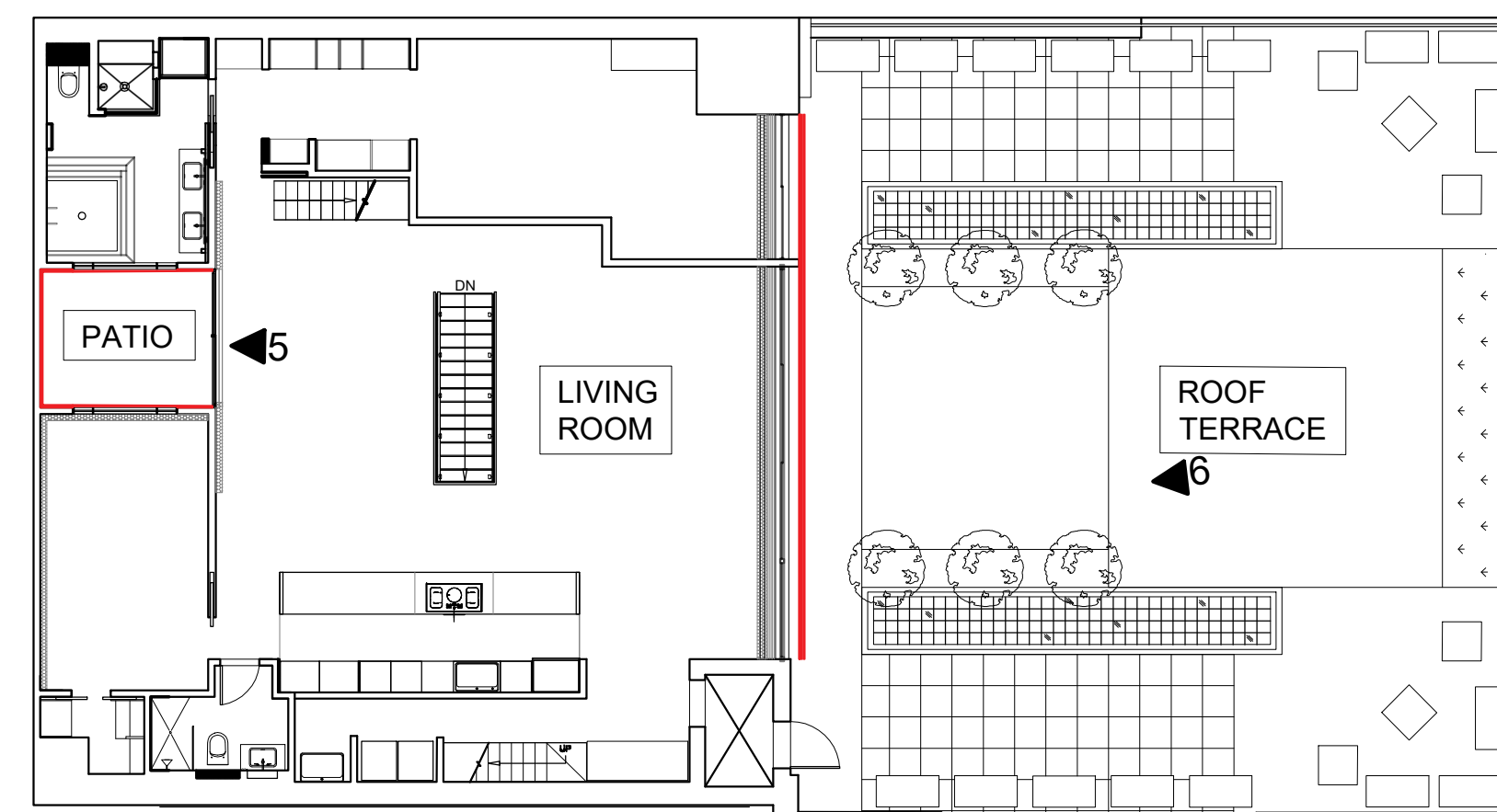
KEY PLAN 1ST FLOOR  
SCALE: N/A  
IPE-CLADDING



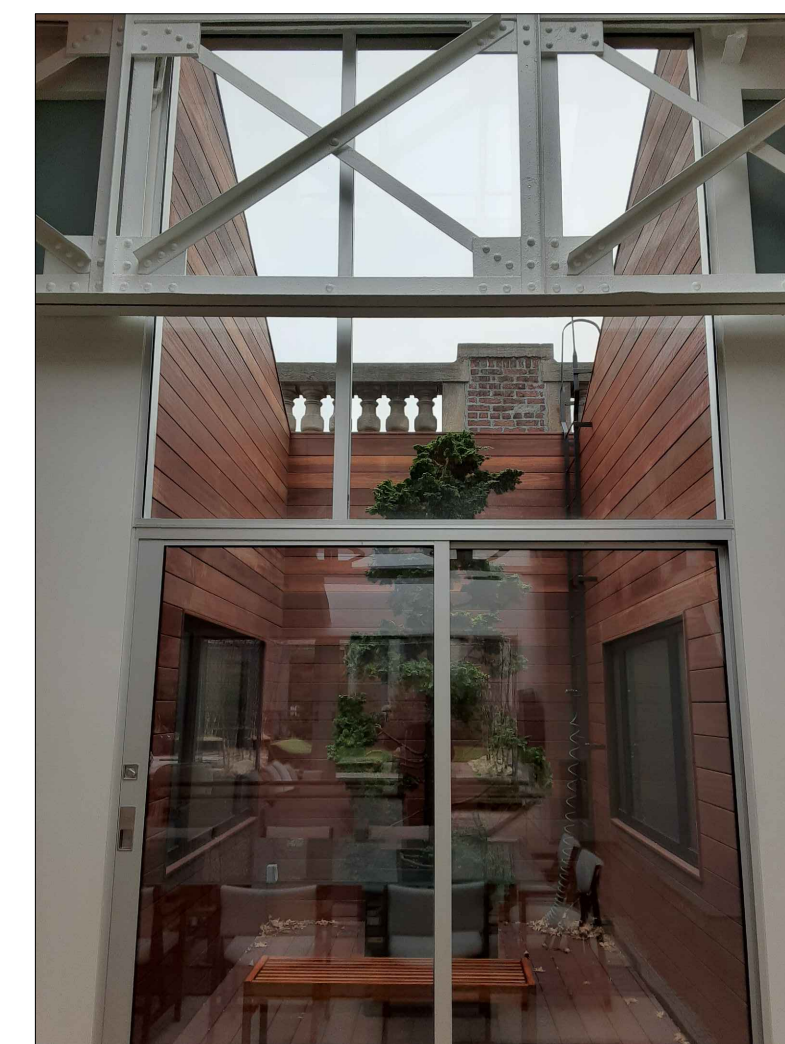
3) Proposed 1st Floor Entrance Interior  
In Progress PAA.03 DOB No.123810803



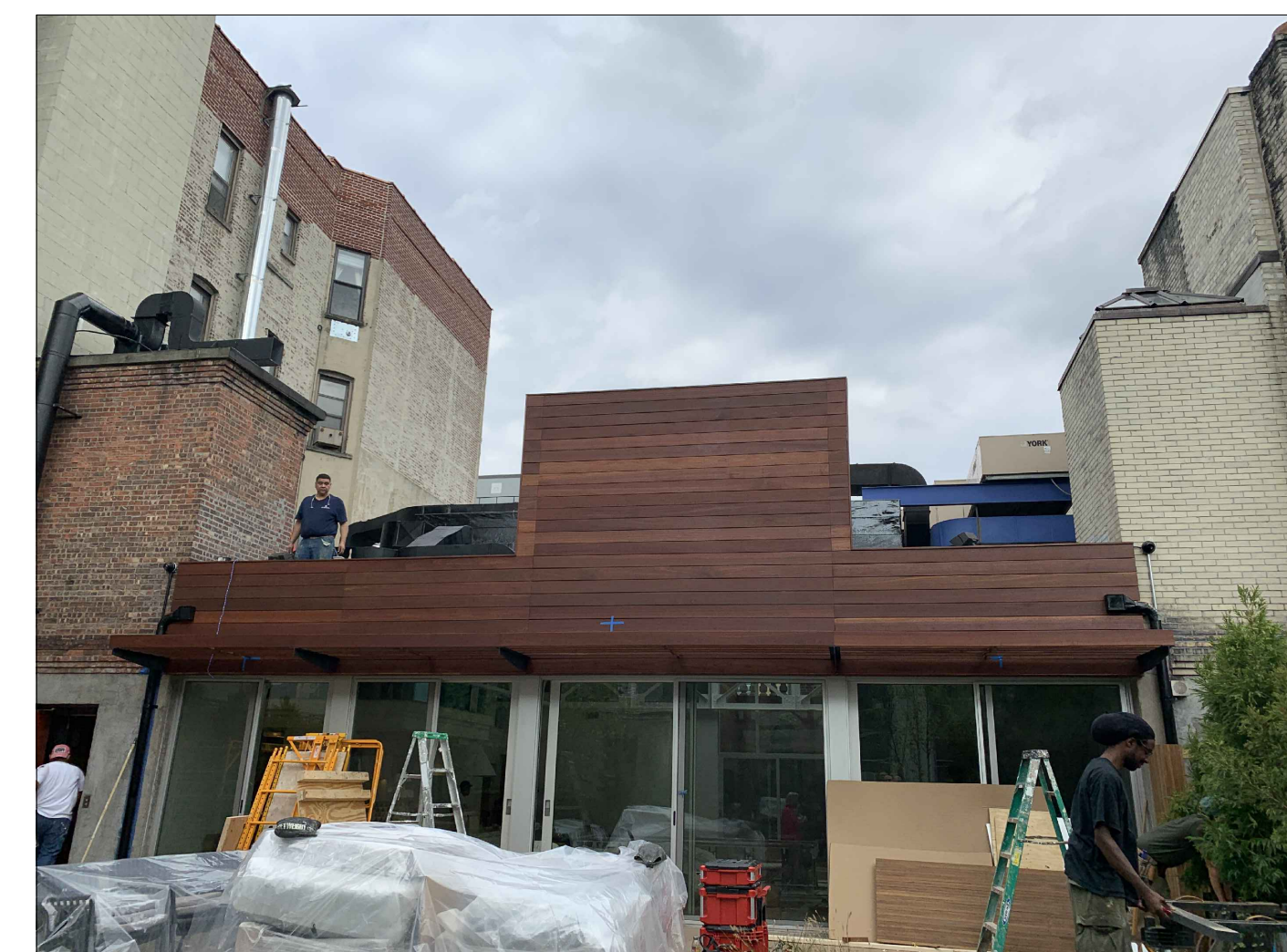
4) Proposed 1st Floor - Living Room Interior  
In Progress PAA.03 DOB No.123810803



KEY PLAN 2ND FLOOR  
SCALE: N/A  
IPE-CLADDING



5) Existing Patio\_2nd Floor - 90% Construction  
Approved DOB No.123810803



6) Existing Terrace\_2nd Floor - 90% Construction  
Approved DOB No.123810803

538-540 EAST 11th STREET  
New York, NY 10009

ARCHITECT:  
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WWW.MURDOCKSOLO.COM

OWNER:  
BATH HOUSE ACQUISITIONS, LLC  
538-540 EAST 11TH STREET  
NEW YORK, NY, 10009

EXPEDITER:  
MUNICIPAL BUILDING CONSULTANTS, INC.  
233 BROADWAY  
NEW YORK, NY 10279  
OFFICE: 212-791-9390  
FAX: 646-613-1776



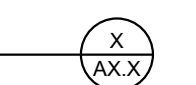

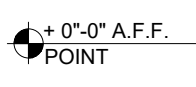
PROJECT:  
RESIDENTIAL RENOVATION

BUILDING FLOOR NUMBER:

DRAWING:  
IPE-CLADDING INTERIOR PROPOSAL  
AND REFERENCE IMAGES  
DOB EMPLOYEE STAMP AND SIGNATURE:

|             |                 |
|-------------|-----------------|
| DATE:       | 03/16/20        |
| PROJECT NO. | 20016           |
| SCALE:      | NTS             |
| DRAWING NO. | <b>G-101.00</b> |
| DRAWING:    | 3 OF 7          |

**DRAWING SYMBOLS**

-  BUILDING SECTION
-  ELEVATION KEY
-  DETAIL KEY
-  ROOM NAME  
ROOM NUMBER
-  0'-0" A.F.F. POINT ELEVATION

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PROJECT:  
 RESIDENTIAL RENOVATION

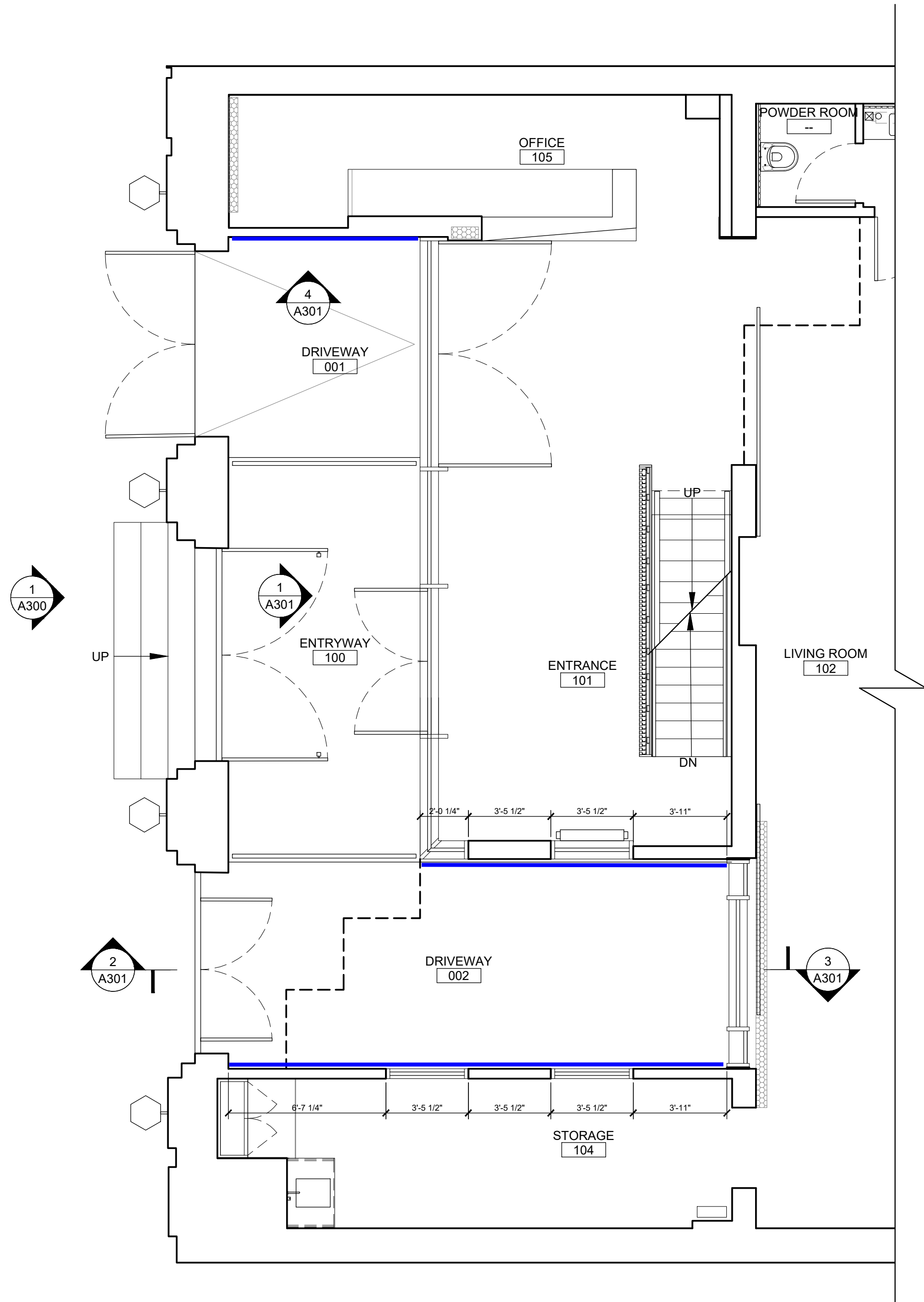
BUILDING FLOOR NUMBER:  
 1ST\_FLOOR


DRAWING:  
 DEMO\_PROPOSED

DOB EMPLOYEE STAMP AND SIGNATURE:

|             |                 |
|-------------|-----------------|
| DATE:       | 03/16/20        |
| PROJECT NO. | 20016           |
| SCALE:      | 1/4"=1'-0"      |
| DRAWING NO. | <b>A-100.00</b> |
| DRAWING:    | 4 OF 7          |

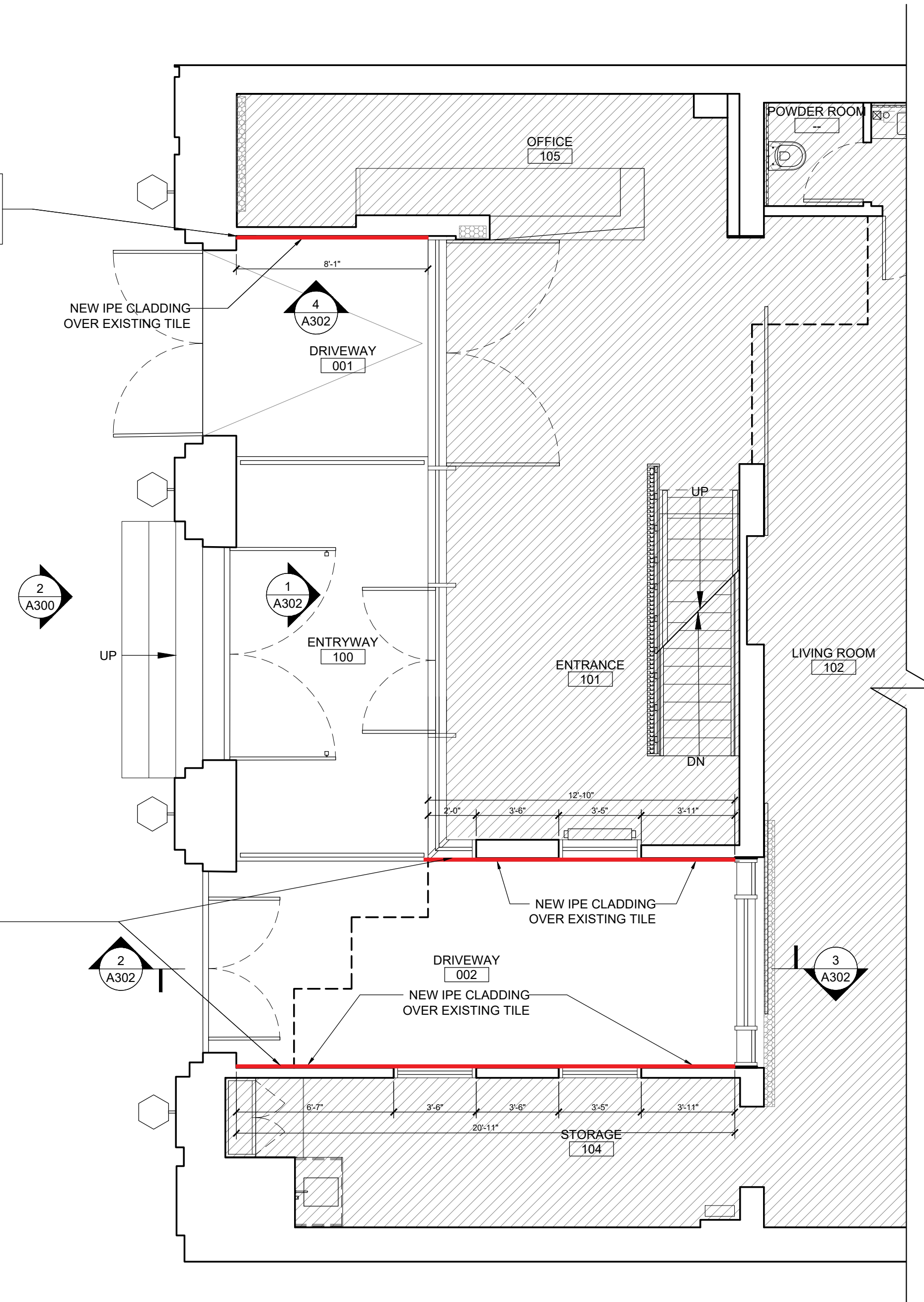
**NOTE:  
 NO WORK AT FACADE  
 OF BUILDING.**



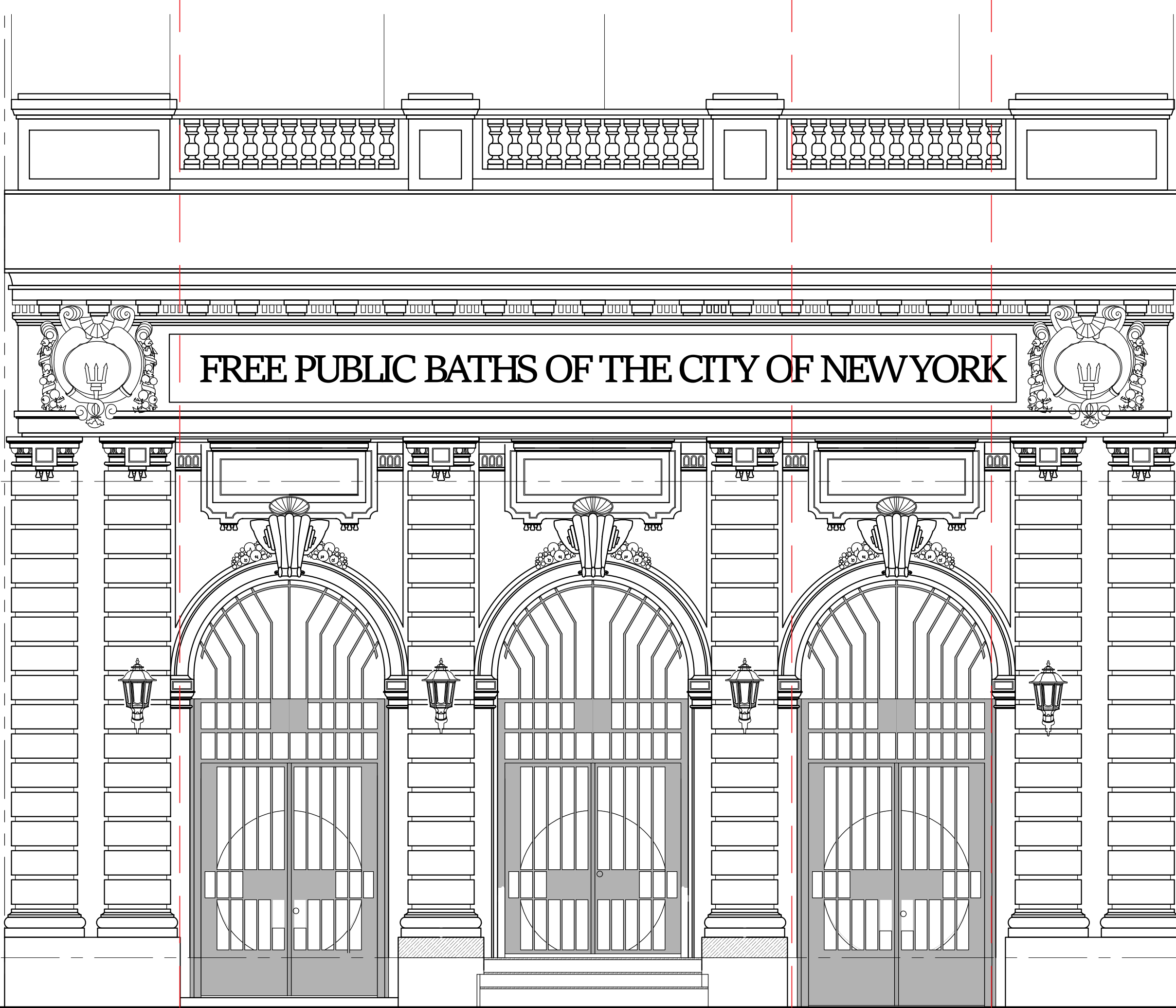
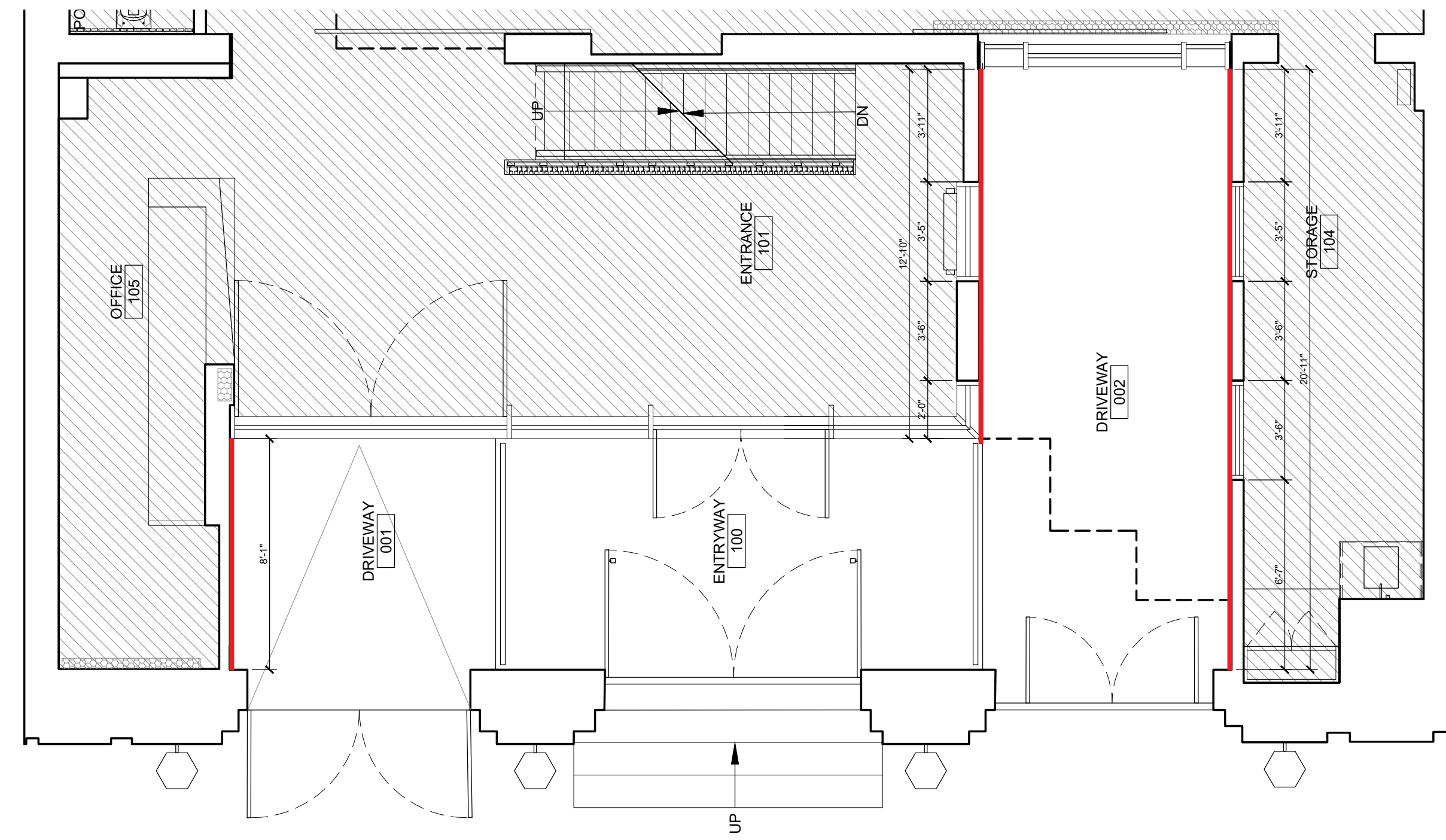
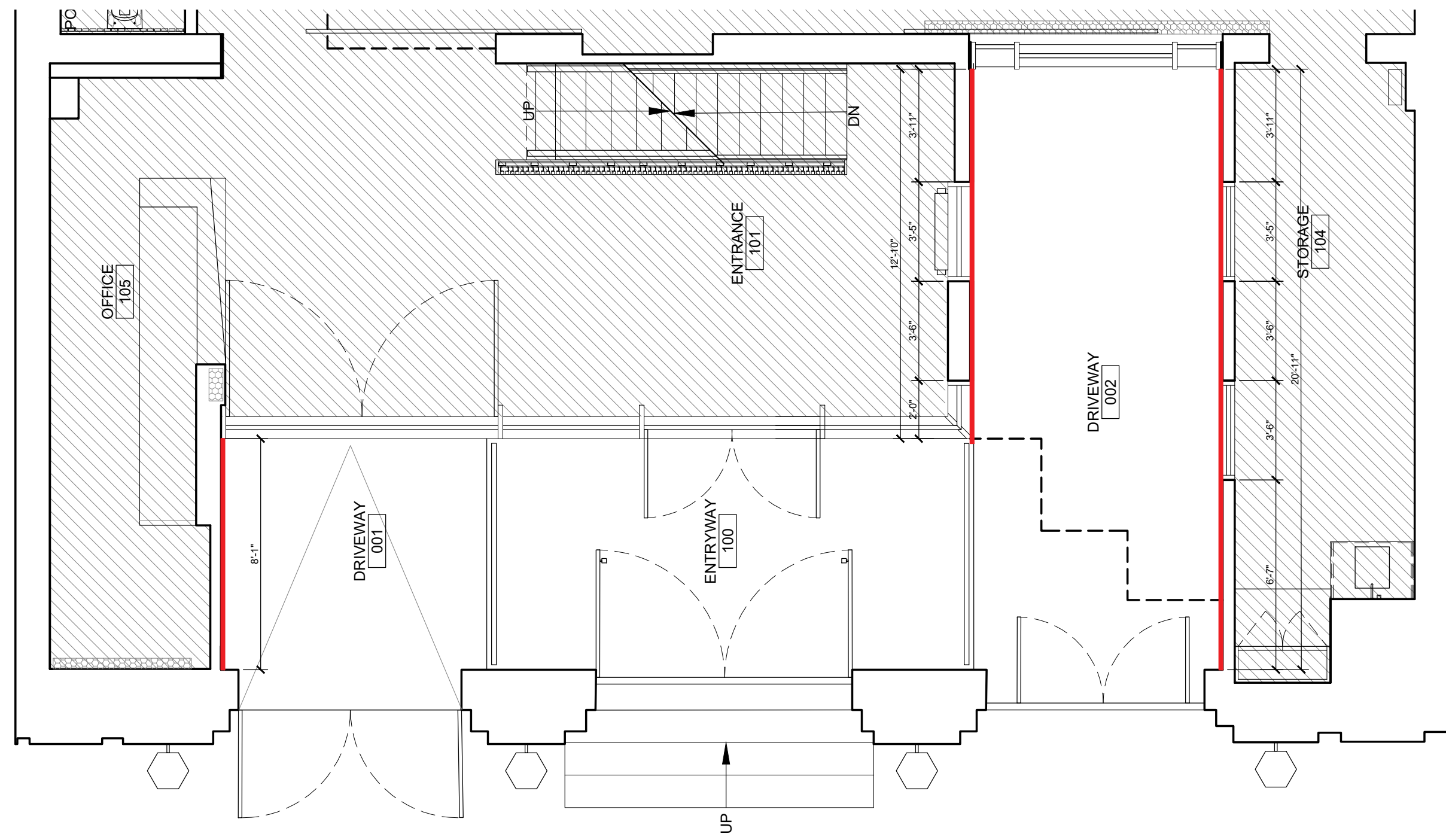
**01** 1ST FLOOR DEMO/ EXISTING   
 SCALE: 1/4" = 1'-0"

NOTE:  
 RED LINE DIAGRAMMATICALLY  
 INDICATES LOCATION OF  
 PROPOSED IPE CLADDING

NOTE:  
 RED LINE DIAGRAMMATICALLY  
 INDICATES LOCATION OF  
 PROPOSED IPE CLADDING



**02** 1ST FLOOR PROPOSED   
 SCALE: 1/4" = 1'-0"



**NOTE:  
NO WORK AT FACADE  
OF BUILDING.**

ARCHITECT:  
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NEW YORK, NY 10279  
OFFICE: 212-791-9390  
FAX: 646-613-1776

PROJECT:  
RESIDENTIAL RENOVATION

BUILDING FLOOR NUMBER:  
1ST\_FLOOR

DRAWING:  
EXTERIOR\_ELEVATION

DOB EMPLOYEE STAMP AND SIGNATURE:

31'-10" A.F.F.  
2ND FLOOR

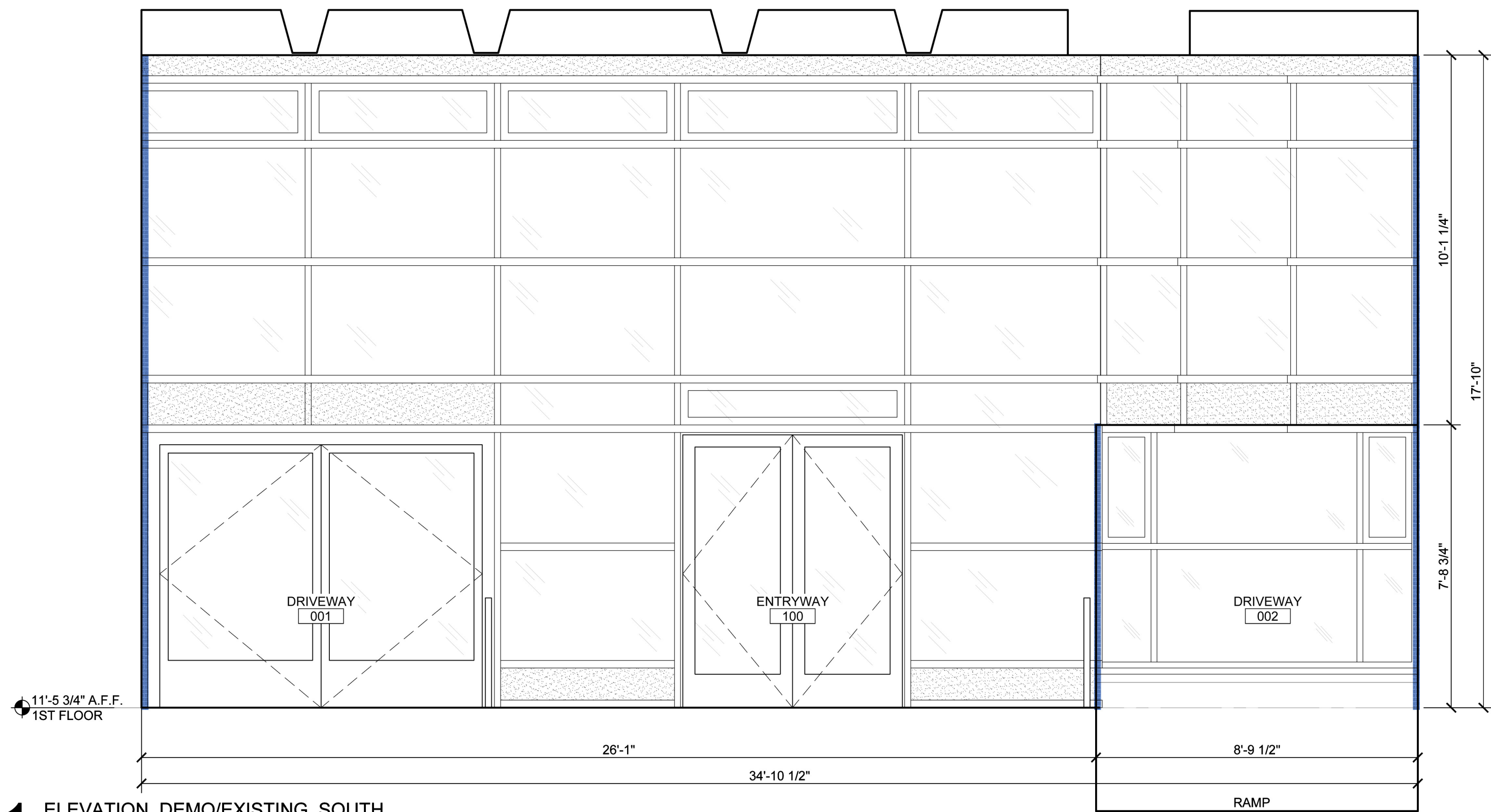
11'-5 3/4" A.F.F.  
1ST FLOOR

SIDEWALK

**01** EXISTING ELEVATION  
SCALE: 1/4" = 1'-0"

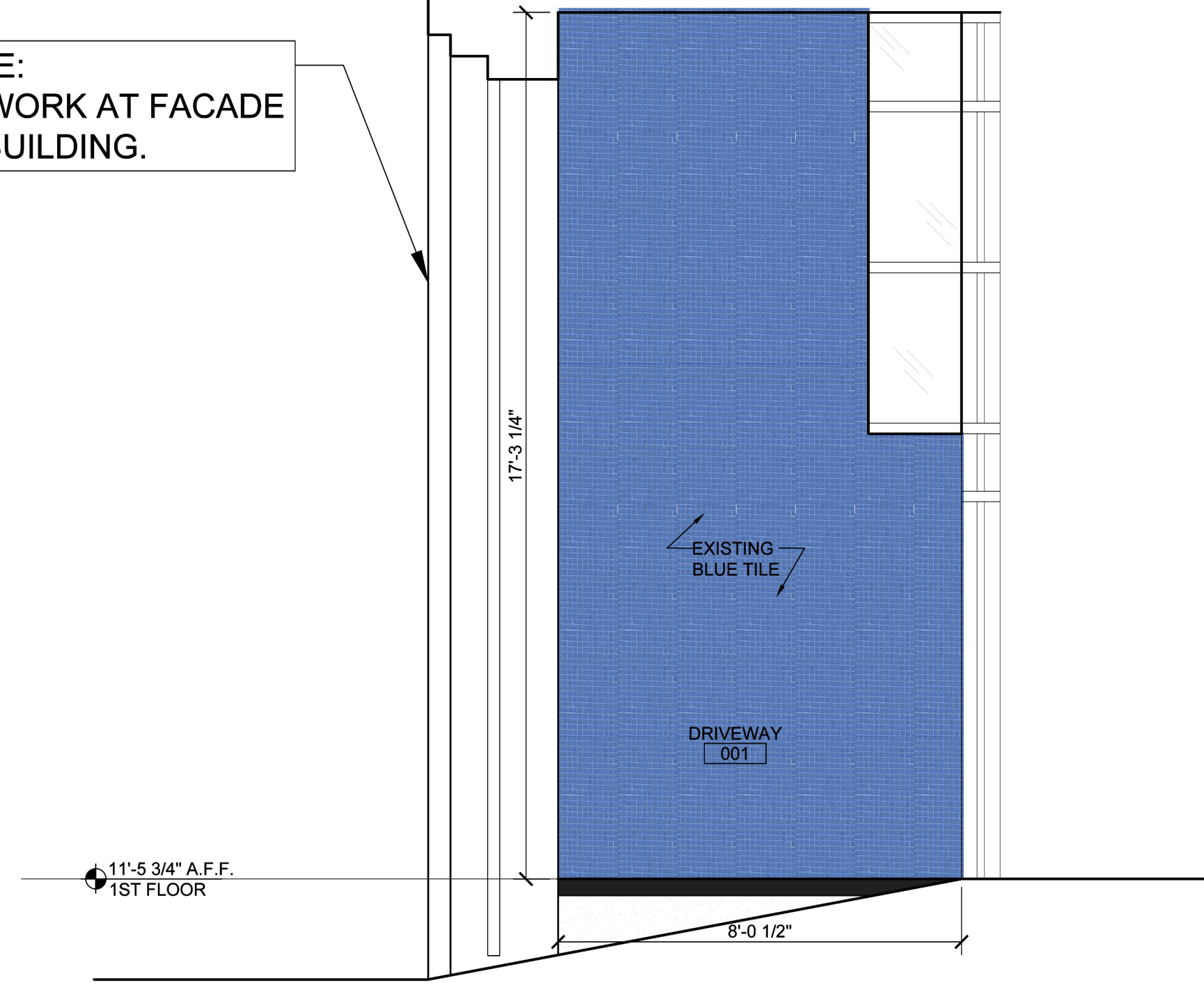
**02** PROPOSED ELEVATION  
SCALE: 1/4" = 1'-0"

|             |                 |
|-------------|-----------------|
| DATE:       | 03/16/20        |
| PROJECT NO. | 20016           |
| SCALE:      | 1/4"=1'-0"      |
| DRAWING NO. | <b>A-300.00</b> |
| DRAWING:    | 5 OF 7          |

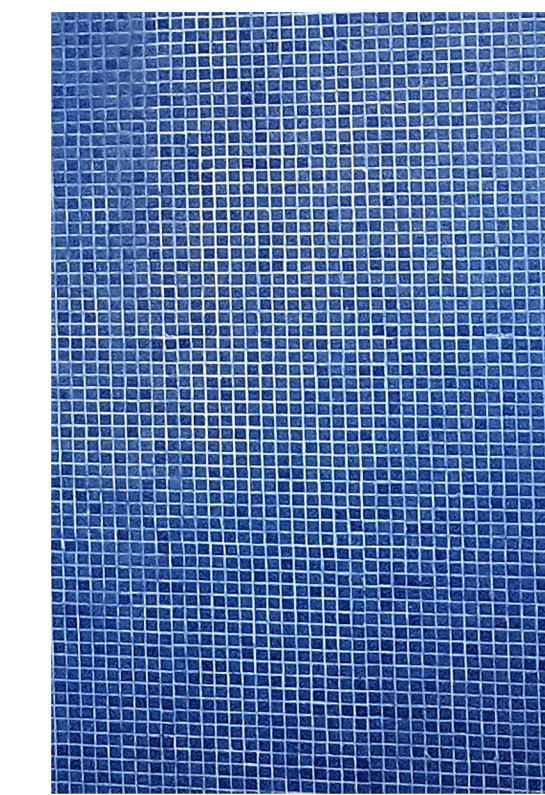


**01** ELEVATION\_DEMO/EXISTING\_SOUTH  
SCALE: 3/8" = 1'-0"

NOTE:  
NO WORK AT FACADE  
OF BUILDING.



**04** ELEVATION\_DEMO/EXISTING  
SCALE: 3/8" = 1'-0"



EXISTING BLUE TILE 1"x1"

ARCHITECT:  
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NEW YORK, NY 10279  
OFFICE: 212-791-8390  
FAX: 646-613-1776

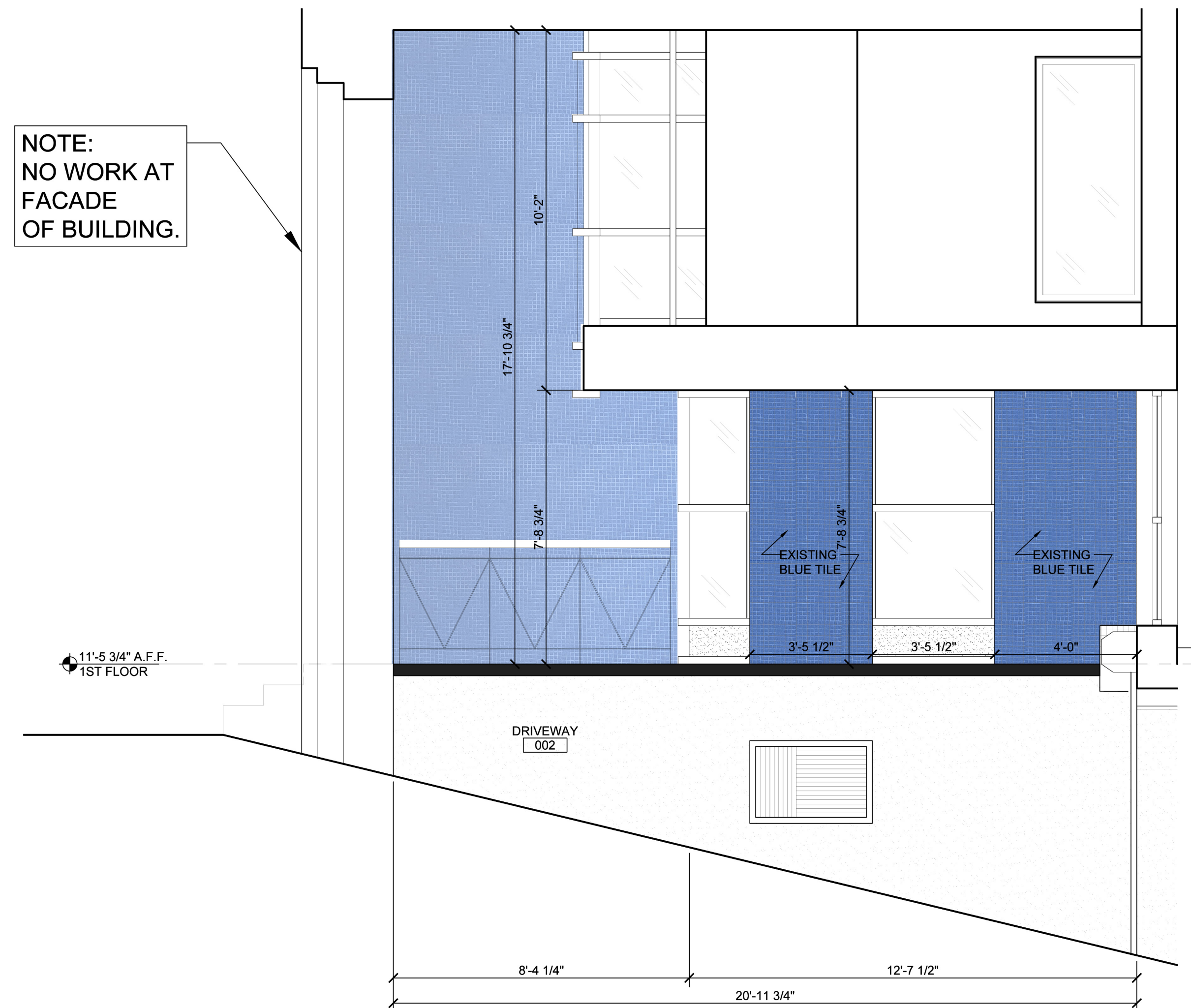
PROJECT:  
RESIDENTIAL RENOVATION

BUILDING FLOOR NUMBER:  
1ST FLOOR

DRAWING:  
ELEVATIONS\_DEMO/EXISTING

DOB EMPLOYEE STAMP AND SIGNATURE:

|             |                 |
|-------------|-----------------|
| DATE:       | 03/16/20        |
| PROJECT NO. | 20016           |
| SCALE:      | 3/8"=1'-0"      |
| DRAWING NO. | <b>A-301.00</b> |
| DRAWING:    | 6 OF 7          |



**02** ELEVATION\_DEMO/EXISTING\_EAST  
SCALE: 3/8" = 1'-0"

NOTE:  
NO WORK AT FACADE  
OF BUILDING.



**03** ELEVATION\_DEMO/EXISTING\_WEST  
SCALE: 3/8" = 1'-0"

**NOTE:**  
 - NO WORK AT FACADE OF BUILDING.  
 - NEW IPE CLADDING MINIMAL VISIBILITY FROM STREET



PROPOSED IPE CLADDING  
NOVA BATU 5X2

ARCHITECT:  
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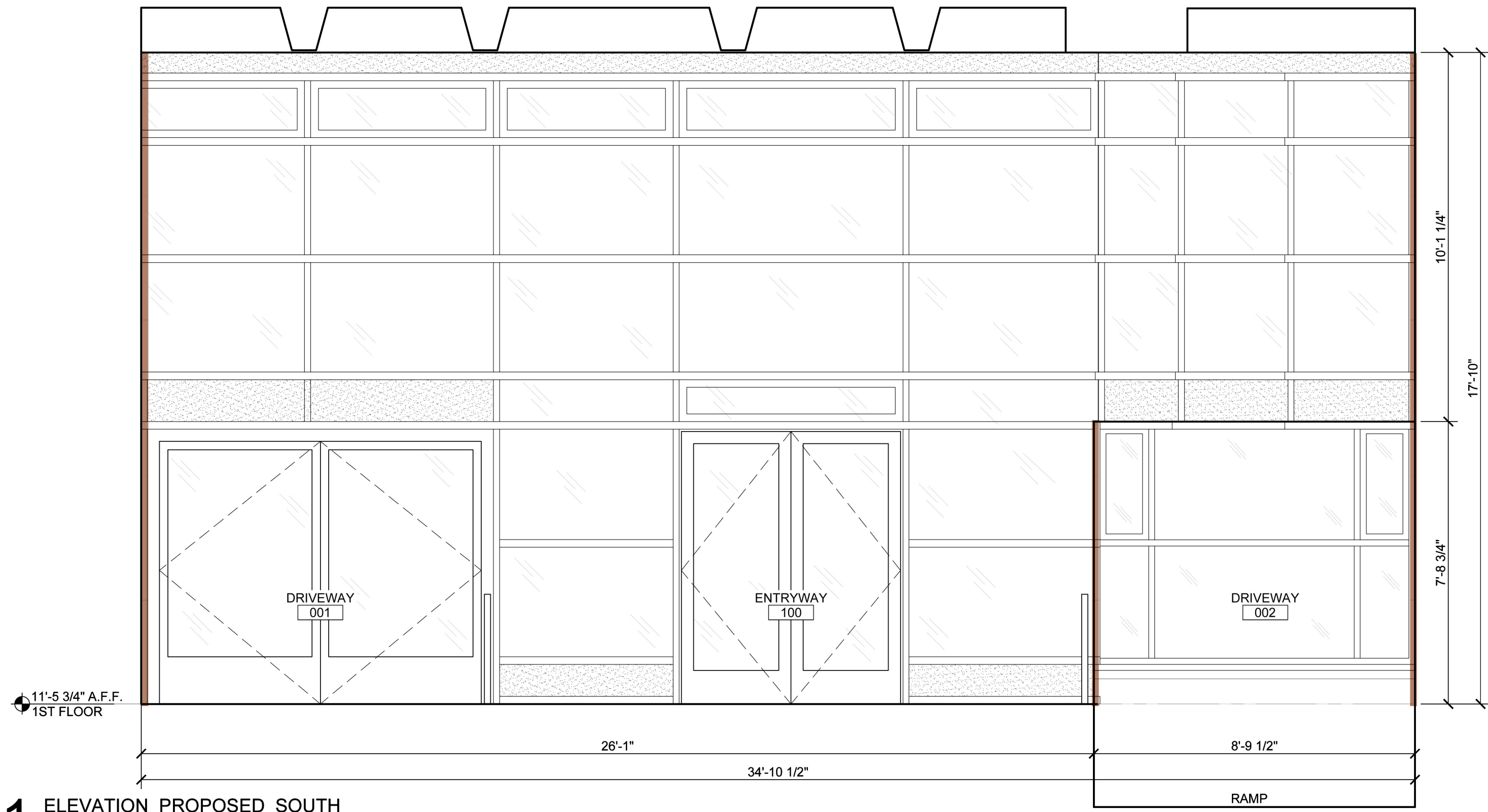
PROJECT:  
 RESIDENTIAL RENOVATION

BUILDING FLOOR NUMBER:  
 1ST FLOOR

DRAWING:  
 ELEVATIONS\_PROPOSED

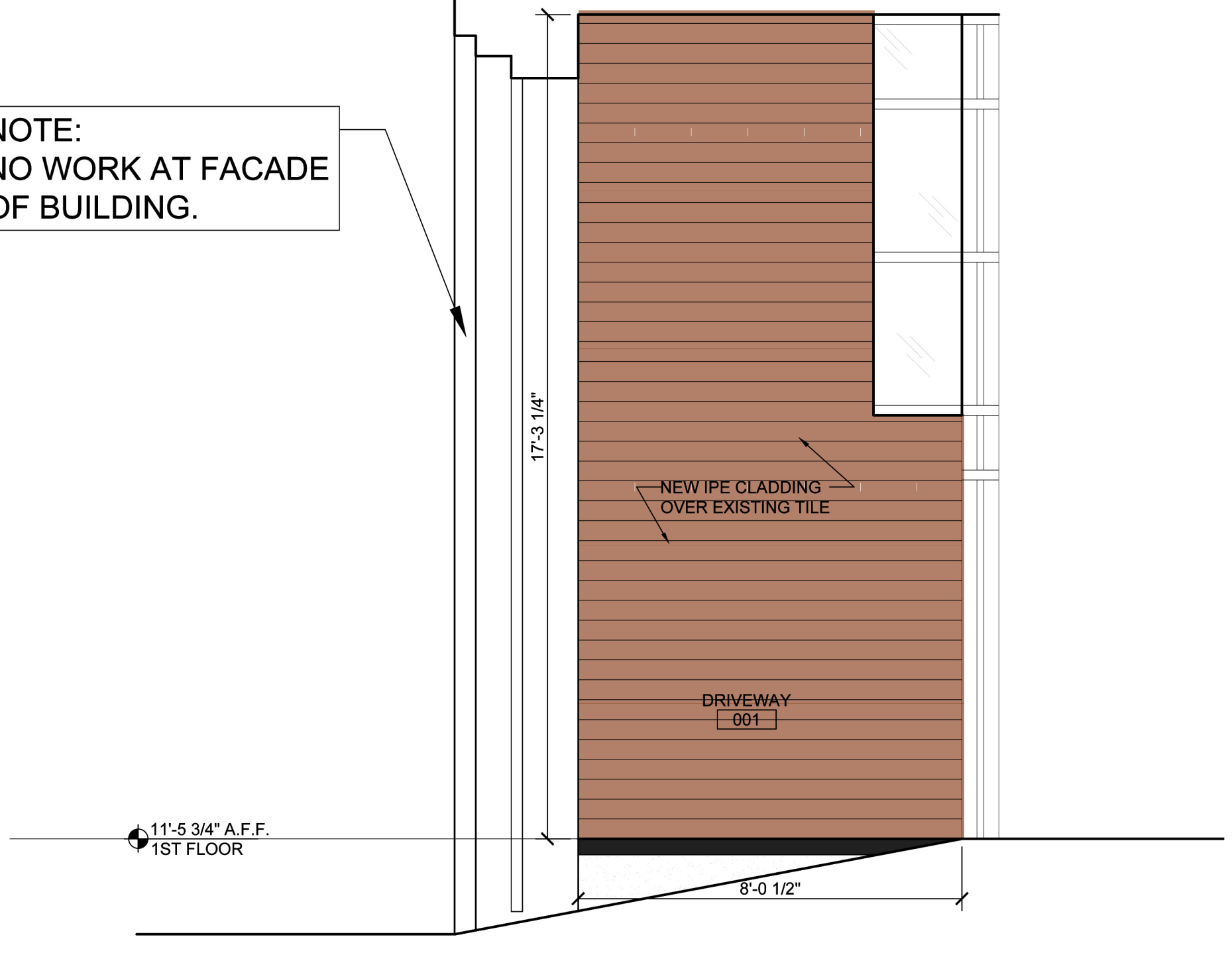
DOB EMPLOYEE STAMP AND SIGNATURE:

|             |                 |
|-------------|-----------------|
| DATE:       | 03/16/20        |
| PROJECT NO. | 20016           |
| SCALE:      | 3/8"=1'-0"      |
| DRAWING NO. | <b>A-302.00</b> |
| DRAWING:    | 7 OF 7          |



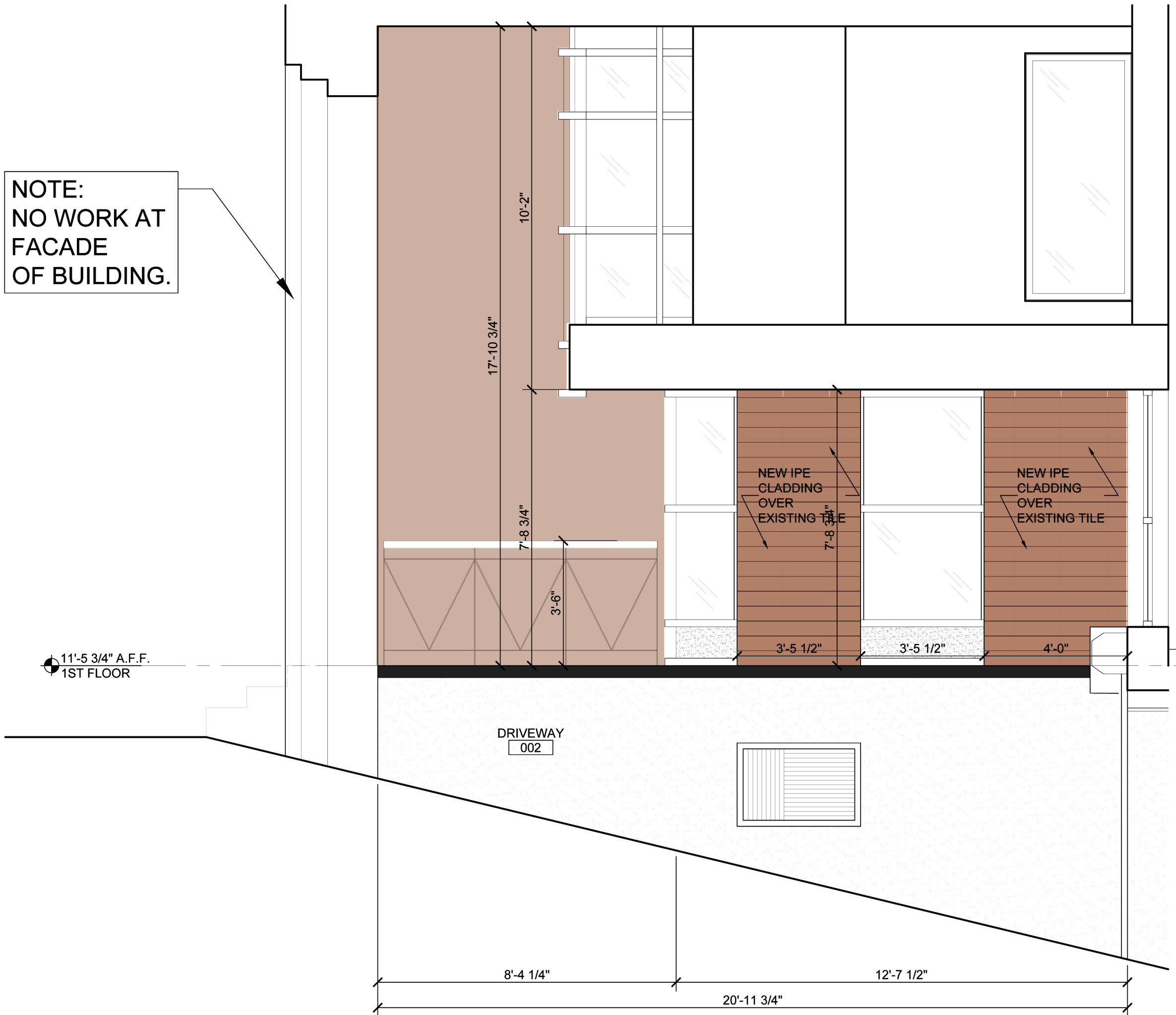
**01** ELEVATION\_PROPOSED\_SOUTH  
SCALE: 3/8" = 1'-0"

NOTE:  
NO WORK AT FACADE OF BUILDING.



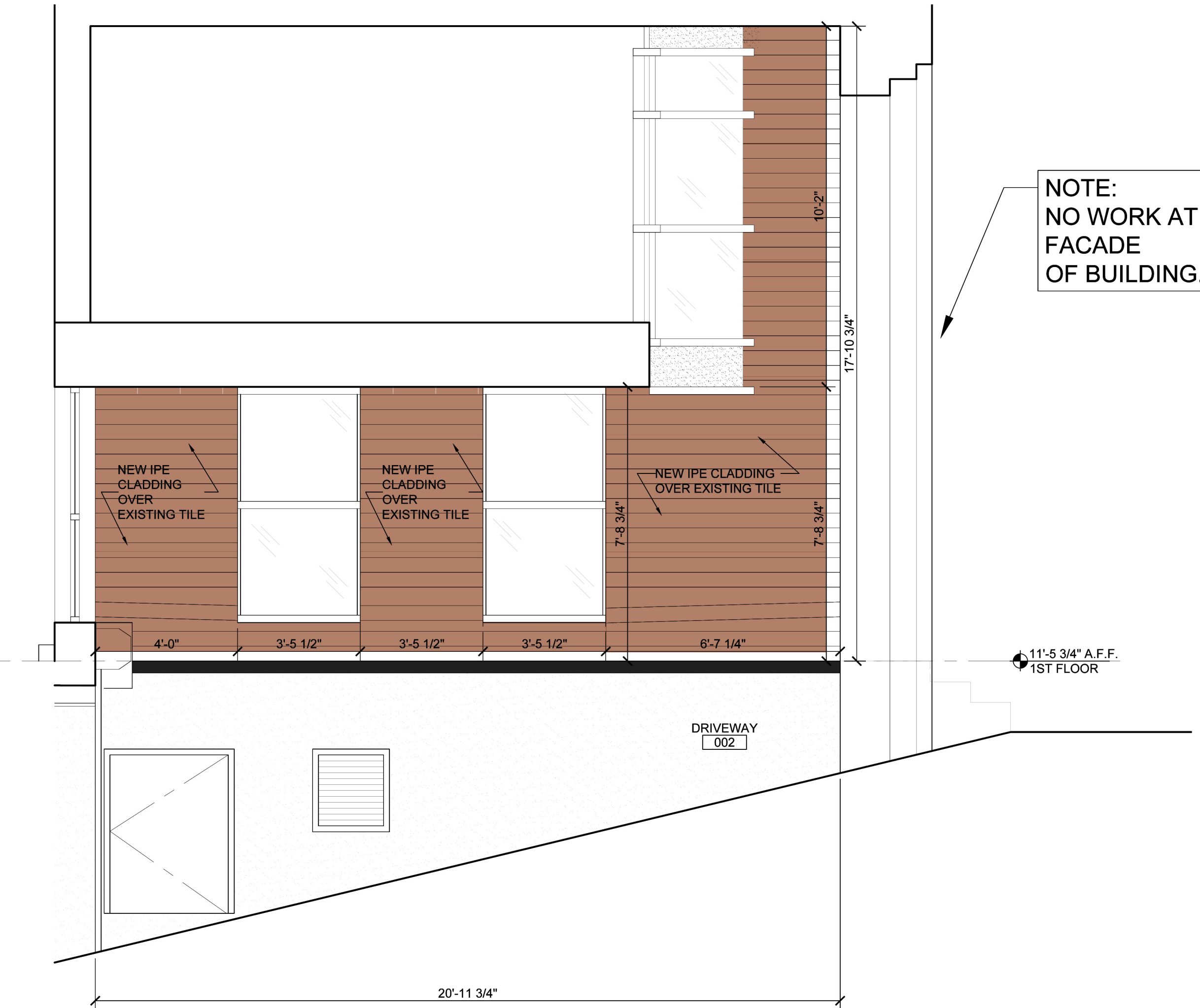
**04** ELEVATION\_PROPOSED  
SCALE: 3/8" = 1'-0"

NOTE:  
NO WORK AT FACADE OF BUILDING.



**02** ELEVATION\_PROPOSED\_EAST  
SCALE: 3/8" = 1'-0"

NOTE:  
NO WORK AT FACADE OF BUILDING.



**03** ELEVATION\_PROPOSED\_WEST  
SCALE: 3/8" = 1'-0"